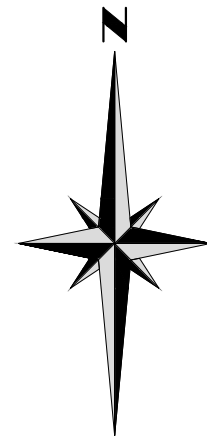
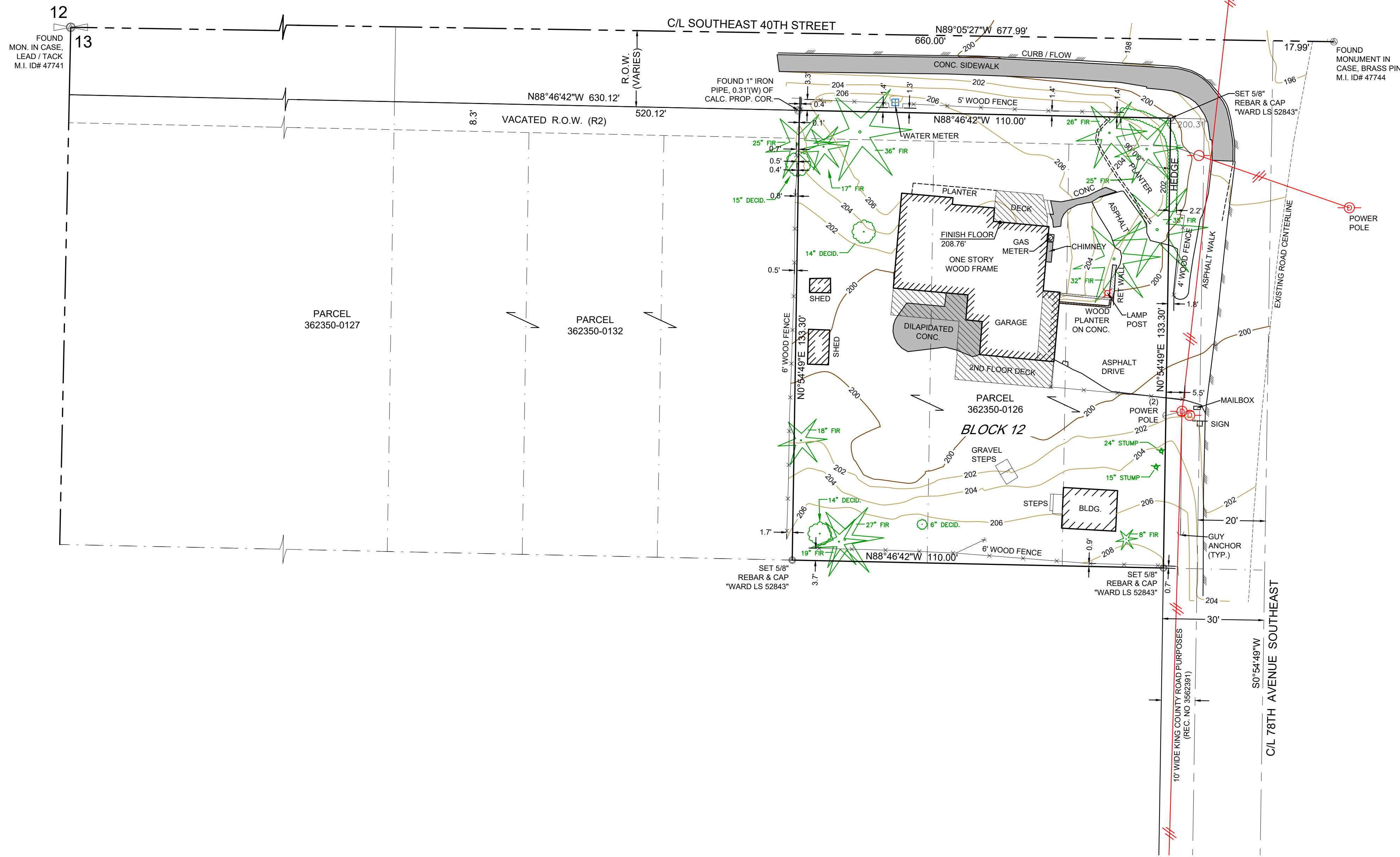


BOUNDARY AND TOPOGRAPHIC SURVEY
A PORTION OF BLOCK 12 OF REPLAT OF ISLAND PARK, MERCER ISLAND, WASHINGTON
 WITHIN THE NW1/4 OF THE NE1/4 OF SECTION 13, TOWNSHIP 24 NORTH, RANGE 04 EAST, W.M., KING COUNTY, WASHINGTON



0 10' 20' 40'
 SCALE: 1" = 20'



VERTICAL DATUM:

NAVD 88. BASED ON CONTROL TIES TO CITY OF MERCER ISLAND CONTROL POINTS:

ID NUMBER: 47744 ID NUMBER: 47741
 N: 212734.474 N: 212745.2569
 E: 1294452.056 E: 1293774.046
 ELEV: 193.403 ELEV: 210.908

CONTOUR INTERVAL - 2 FOOT:

THE CONTOURS SHOWN HEREON WERE COMPUTER GENERATED FROM DIRECT FIELD OBSERVATIONS WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL.

PROJECT BENCHMARK:

TOP OF REBAR AND CAP MARKING THE NORTHEAST PROPERTY CORNER FOR KING COUNTY PARCEL NUMBER 362350-0126, WITHIN BLOCK 12 OF REPLAT OF ISLAND PARK, KING COUNTY, WASHINGTON.
 ELEVATION = 200.31'

HORIZONTAL DATUM:

N 89°05'27\"/>

GENERAL NOTES:

1. THE PURPOSE OF THIS SURVEY IS TO SHOW THE EXTERIOR BOUNDARY LINES, EXISTING SITE IMPROVEMENTS, NATURAL FEATURES AND EXISTING TERRAIN FOR KING COUNTY PARCEL NUMBER 362350-0126, WITHIN BLOCK 12 OF REPLAT OF ISLAND PARK, IN THE COUNTY OF KING, FOR THE INTENDED USE OF ARCHITECTURAL AND CIVIL ENGINEERING DESIGN.
2. THIS SURVEY WAS PERFORMED USING A TRIMBLE S SERIES, 3\"/>

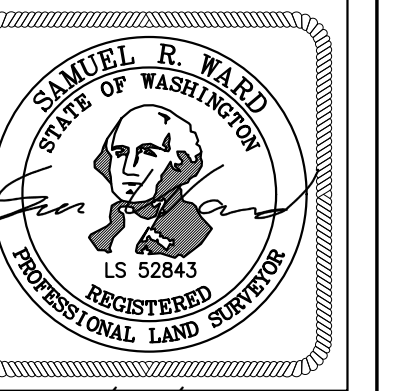
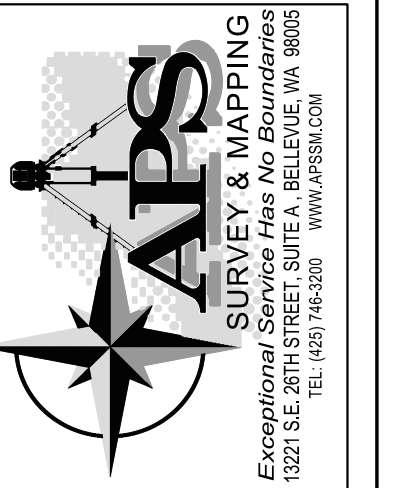
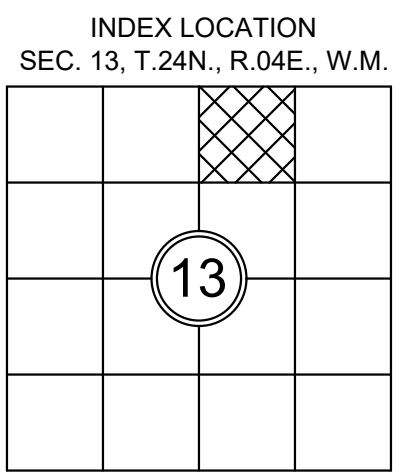
LEGAL DESCRIPTION:

STATUTORY WARRANTY DEED
 AFN: 20090701001371
 THE NORTH 125 FEET OF THE EAST 120 FEET OF BLOCK 12, REPLAT OF ISLAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 13 OF PLATS, PAGE(S) 58, IN KING COUNTY, WASHINGTON;
 EXCEPT THE EAST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 3562391;
 TOGETHER WITH THE SOUTH 8.3 FEET OF THAT PORTION OF VACATED SOUTHEAST 40TH STREET, FORMERLY FREEMAN AVENUE, ADJOINING SAID PREMISES ON THE NORTH.

REFERENCES:

- | | |
|---|---|
| R1. REPLAT OF ISLAND PARK
AFN: 1906731409502
VOLUME 13 OF PLATS, PAGE 58
DATE: JULY 31, 1906 | R5. RECORD OF SURVEY
AFN: 9904199010
BOOK 129 OF SURVEYS, PAGE 45
DATE: APRIL 19, 1999 |
| R2. RECORD OF SURVEY
AFN: 20200205900017
BOOK 419 OF SURVEYS, PAGE 61
DATE: FEBRUARY 5, 2020 | R6. RECORD OF SURVEY
AFN: 2000803900015
BOOK 139 OF SURVEYS, PAGE 118
DATE: AUGUST 3, 2000 |
| R3. RECORD OF SURVEY
AFN: 7907169003
BOOK 19 OF SURVEYS, PAGE 83
DATE: JULY 16, 1979 | R7. RECORD OF SURVEY
AFN: 20110830900002
BOOK 282 OF SURVEYS, PAGE 182
DATE: AUGUST 30, 2011 |
| R4. RECORD OF SURVEY
AFN: 9005179006
BOOK 73 OF SURVEYS, PAGE 21
DATE: MAY 17, 1990 | |

KCPN 362350-0126
 TOTAL LOT AREA
 14,663 SQ. FT.
 0.337 ACRES



12/28/2020
 WASHINGTON
BOUNDARY AND TOPOGRAPHIC SURVEY
 TAX PARCEL NO. 362350-0126
 7655 SOUTHEAST 40TH STREET, MERCER ISLAND, WASHINGTON
 FOR
 LAURA S. SMITH
 MERCER ISLAND
 SCALE: 1" = 20'
 DATE: 12/28/20
 APSSM PROJECT NO.: 1805.002
 ACAD NAME: 18050021.dwg

SURVEYED BY: JC/DA	DRAWN BY: MAGG	APPROVED BY: VW	SRW
		REVISION	CK'D APPR.
DATE	BY		

SHEET 1 OF 1

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP
9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Subsurface drainage placement, Shoring installation and monitoring, Verify fill material and compaction, etc.

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Retaining wall construction, Reinforcing steel and concrete placement, etc.

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Moment Frame construction, Structural steel erection, field welds and bolting, etc.

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Glass unit masonry installation, Masonry unit strength, Wall panel and veneer installation, etc.

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, etc.

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Stucco installation, Expansion anchor installations, Infiltration System, etc.

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Metal joist / metal trusses, Post tension layout, Exterior cladding, etc.

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Air Leakage Testing, Whole house ventilation, Duct Leakage Testing, Energy Credit Information, Postconstruction Test, etc.

TO BE COMPLETED BY DSG

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm, etc.

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required, etc.

DRAINAGE REQUIREMENTS: On site detention system required, Direct discharge into the lake, No Storm Water permit required, etc.

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim.

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2

SURVEY REQUIREMENTS: Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered.

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.

Permit number, Approved by, Date

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS: Inspector shall initial and date appropriate inspection only if approved. Tree protection, Erosion control, Sewer disconnect and cap, etc.

TO BE COMPLETED BY DSG

Final Inspection: Tree Restoration, Fire protection, Fuel Tank Installation, Fire Extinguishing System, Fire Alarm System, etc.

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy.

Approved, Start Date, End Date

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling

IMPACT FEES: Impact fees apply and are due prior to Final Inspection or on Date, whichever occurs first.

PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents. Building, Planning, Engineering, Tree, Fire

TO BE COMPLETED BY DSG



CERTIFICATE OF OCCUPANCY issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

PERMIT NUMBER

Approved, Date

Approved, Date

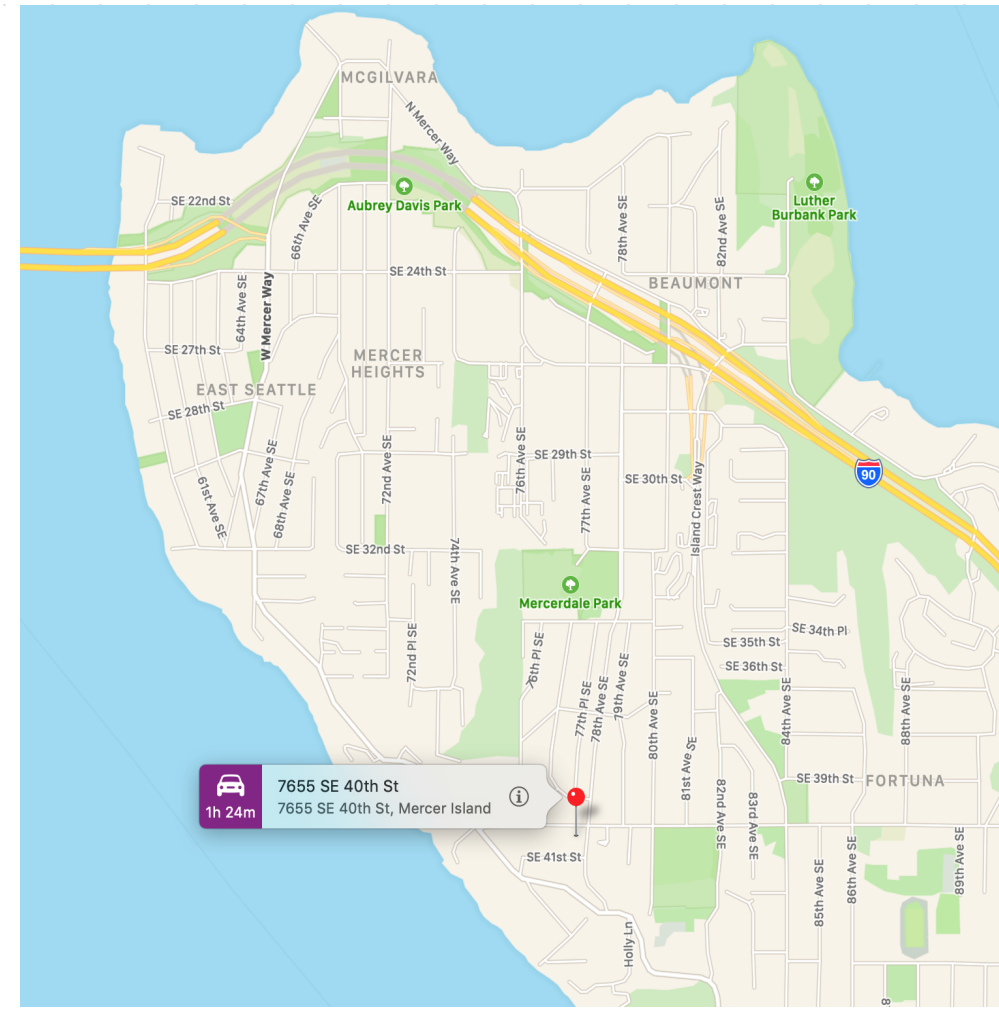
GROSS FLOOR AREA SUMMARY

1. SITE:	14663.0 SQ. FT.
2. EXISTING AREA SUMMARY:	
(E) UPPER FLOOR:	1317.0 SQ. FT.
(E) LOWER DAYLIGHT BASEMENT FLOOR:	1262.0 SQ. FT.
(E) GARAGE:	305.0 SQ. FT.
(E) LOWER CONCRETE PATIO, COVERED:	233.0 SQ. FT.
3. NEW ADDITIONAL AREA SUMMARY:	
(N) UPPER FLOOR:	620.0 SQ. FT.
(N) LOWER DAYLIGHT BASEMENT FLOOR:	761.0 SQ. FT.
(N) GARAGE:	329.0 SQ. FT.
(N) LOWER CONCRETE PATIO, COVERED:	294.0 SQ. FT.
4. NEW SUB-TOTAL AREA SUMMARY:	
(N) UPPER FLOOR:	1937.0 SQ. FT.
(N) LOWER DAYLIGHT BASEMENT FLOOR:	2023.0 SQ. FT. - 882 SQ. FT. BSMT EXCL. =
(N) GARAGE:	634.0 SQ. FT.
(N) LOWER CONCRETE PATIO, COVERED:	294.0 SQ. FT.
5. NEW TOTAL FLOOR AREA SUMMARY:	
(N) FLOOR AREA INCL. GARAGE:	3712.0 SQ. FT.
(N) LOWER CONCRETE PATIO, COVERED:	294.0 SQ. FT.
6. ALLOWED GFA PER ZONING OF R-9.6	8K SQ. FT. OR 40% OF LOT AREA
ALLOWED GFA	14663 SQ. FT. X 40% = 5865.2 SQ. FT.
PROPOSED GFA	3712 SQ. FT.
PROPOSED GFA PERCENT OF LOT.	3712 SQ. FT. / 14663 SQ. FT. = 25.3 %

SEE AS 1.1 FOR BUILDING HEIGHT CALCULATIONS AND BASEMENT EXCLUSION AREA.
SEE AS 1.2 FOR LOT COVER CALCULATIONS AND IMPERVIOUS SURFACE DIAGRAM.

PROJECT DIRECTORY

ARCHITECT:	WESTERN EDGE ARCHITECTURE 38321 VISTA KEY NE HANSVILLE, WA 98340 CONTACT: READ FERGUSON contact number- 206 915 5203 fergy_51@hotmail.com
STRUCTURAL : ENGINEER	PACIFIC NW STRUCTURAL GROUP 6193 NE MALBON CT. KINGSTON, WA 98346 CONTACT: David Starkel number: 360 903 2803 email: David@PNWstructure.com
CIVIL ENGINEER:	TMM ENGINEERING, LLC 381 NE O'HENRY CT. POULSBORO, WA 98370 CONTACT: Trent Murphy, P.E. number: 360 979 6778 email: trent@tmmengineeringllc.com
ENERGY CONSULTANT:	PACIFIC HOME SOURCE 4001 72ND STREET E TACOMA, WA 98443 CONTACT: Gabriel Spruell number: 253 328 6001 email: info@pacifichomesource.com
OWNER:	LAURA SMITH / DAVID CUTRIGHT 7655 SE 40TH STREET SE MERCER ISLAND, WA 98040 CONTACT: David Cutright contact number- 206 250 3088 doccgm@msn.com



VICINITY MAP- MERCER ISLAND, KING COUNTY, WA

PROJECT DESCRIPTION:

EXPAND AND REMODEL EXISTING HOUSE WITH NEW ROOF, NEW INTERIOR LAYOUT INCLUDING 2 ADDITIONAL BEDROOMS ONE A MASTER SUITE, OTHER ENLARGED ROOMS, AND ADDITION OF 2ND GARAGE BAY.

DOCUMENT REVIEW

1. PER REVIEW AND MEASUREMENT TAKEOFFS FROM 22" X 24" DRAWING SHEET SIZES- DRAWING SHEET SIZES ARE AT FULL SCALE/SIZE AND 11" X 17" ARE HALF SCALE/ SIZE

SITE, ZONING, CODE INFORMATION

BUILDING CODE INFORMATION: DESIGNED TO STANDARD
2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 UNIFORM PLUMBING CODE (UPC)
2018 WA STATE ENERGY CODE (WSEC)
Including the Washington State Code Amendments - Chapter 51-50, 51, 52, 54, 56, 57. WAC

BASIC DESIGN CRITERIA

DEAD LOAD	25 PSF
LIVE LOAD	25 PSF
ROOF SNOW LOAD:	PER IRC = 25 PSF
FLOOR:	25 PSF
GROUND SNOW LOAD:	25 PSF
WIND LOAD:	BASIC WIND SPEED= 85 MPH MAX WIND SPEED= 110- MPH EXPOSURE B, C, & D D2

SEISMIC DESIGN:

WEATHERING:	MODERATE
FROST LINE DEPTH:	12 INCHES
TERMITE:	SLIGHT TO MODERATE
OUTDOOR DESIGN TEMP:	83/24 DEGREES F
ICE SHIELD UNDERLAYMENT REQ.	NO
FLOOD HAZARDS:	NA
AIR FREEZING INDEX:	113
MEAN ANNUAL TEMP:	53.0 DEGREES F

DEFERRED SUBMITTALS

PLUMBING
ELECTRICAL
STAIRS
FIRE SPRINKLER

FIRE PROTECTION COMPLIANCE

- SEE IFC APPENDIX B, SECTION B105, TABLE B105.1(1)
- SEE IFC SECTION C102, TABLE C102.1- SUPPLIES 100% FIRE PROTECTION COMPLIANCE CREDIT. AN EXISTING FIRE HYDRANT WITHIN 1000 FEET OF THE STRUCTURE IN QUESTION WHICH IS CAPABLE OF SUPPLYING 500 G.P.M. FOR 30 MINUTES AND ON AN ACCESSIBLE ROAD.
- FIRE HYDRANT WITH 500 G.P.M. EXISTS 169' EAST OF CORNER OF (E) STRUCTURE. SEE SITE PLAN FOR DIMENSIONED VIEW.
- PROJECT TO HAVE FIRE SPRINKLER THROUGHOUT PER "CITY OF MERCER ISLAND". REFERENCE 13 D RESIDENTIAL SPRINKLER STANDARD AND NFPA 13D FLOW THRU DESIGN RECOMMENDED- COMBINATION WATER SERVICE- 1 INCH METER AND 1 INCH SERVICE LINE.
- NO. OF EXITS REQUIRED- 2 FOR EACH BEDROOM INCLUDING 1 WINDOW MEETING 2018 IRC R310
- OCCUPANCY SEPARATIONS: BETWEEN HOUSE AND GARAGE PER 2018 IRC TABLE R302.6- DWELLING-GARAGE SEPARATION

ENERGY CODE COMPLIANCE

- CLIMATE ZONE 4C (KING COUNTY- C FOR MARINE MOISTURE LEVEL)
- RESIDENTIAL
- USE COMPONENT PERFORMANCE, WSEC 2018
- ENVELOPE:

FLOOR:	R-30 BATT INSULATION
WALLS- WD FRM WALLS- BELOW GRADE:	R-21 BLOWN IN LOOSE FILL OR BATT + MIN. R-10 HEADERS 10/15/21 INT + STB: R-13 BATT FRAMED WALL + R-5 RIGID INSUL. CONTINUOUS INT. OR EXT. CONC. WALL + R-5
CEILING- ROOF/VAULTED- GARAGE SLAB- EXISTING SLAB- NEW SLAB-:	R-49 BLOWN IN LOOSE FILL OR BATT R-38 EXPANDING FOAM INSULATION N/A- UNHEATED SPACE
U- FACTORS:	R-10 RIGID UNDER ENTIRE NEW SLAB / THERMAL BREAK AT FLOOR/WALL JOINT VERTICAL FENESTRATION GLAZING- 0.30 SKYLIGHT FENESTRATION GLAZING- 0.50
- HVAC SYSTEM- (N) DUCTLESS MINI SPLIT / MULTI SPLIT SYSTEM

WHOLE HOUSE VENTILATION- SEPERATE HRV OR ERV SYSTEM TO MEET REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE IRC OR SECTION 403.8 OF IMC. SEQUENCE OF THE CONTROLLER WOULD BE INTERMATIC WHOLE HOME TIMER TIED TO EXHAUST FANS AND COORDINATED WITH FRESH AIR INTAKE.

GENERAL NOTES:

- VERIFY AND COORDINATE SITE CONDITIONS, EXISTING CONDITIONS AND DIMENSIONS. BRING INCONSISTENCIES TO ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS THAT SHOWN FOR SIMILAR CONDITIONS. FOR SPECIAL CONDITIONS NOTIFY THE ARCHITECT BEFORE BIDDING OR PROCEEDING WITH THE WORK.
- PERFORM EXCAVATION AND FOUNDATION WORK IN CONFORMANCE WITH THE SOILS ASSUMPTIONS MADE BY STRUCTURAL ENGINEER
- IMMEDIATELY BRING INCONSISTENCIES, ERRORS, AND OMISSIONS FOUND IN DRAWINGS AND SPECIFICATIONS TO ATTENTION OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS. COORDINATE DIMENSIONS ON DRAWINGS WITH ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT OF DISCREPANCIES.
- ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF FRAMING AND COLUMNS, UNLESS NOTED OTHERWISE.
- COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY WA STATE AND KING COUNTY AND OTHER APPLICABLE CODES, REGULATIONS, AND ORDINANCES
- WORK INSTALLED IN CONFLICT WITH CONSTRUCTION DOCUMENTS WILL BE CONSIDERED TO BE IN NON CONFORMANCE AND SHALL BE CORRECTED AT NO EXPENSE TO OWNER OR ARCHITECT.
- COORDINATION: COORDINATE WORK TO COMPLY WITH DRAWINGS AND SPECIFICATIONS INCLUDING MECHANICAL, ELECTRICAL EQUIPMENT, AND OTHER CONSTRUCTION.
- FOLLOW MANUFACTURER'S INSTRUCTIONS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED OR REQUIRED BY CONSTRUCTION DOCUMENTS OR APPLICABLE CODES, ORDINANCES, AND REGULATIONS.
- PROVIDE AND INSTALL SOLID BLOCKING OR BACKING FOR ALL WALL AND CEILING MOUNTED ITEMS.
- PROVIDE INTERMEDIATE ROD AND SHELF SUPPORTS FOR SHELVING SPANS EXCEEDING 36"
- INSTALL OUTLETS, SWITCHES, AND OTHER RECESSED ITEMS AT FIRE RATED WALLS IN ACCORDANCE WITH THE BUILDING CODE.
- INSTALL GYPSUM BOARD OR OTHER SHEATHING OR BACKER BOARD AS SCHEDULED OR INDICATED ON BOTH SIDES OF WALL FRAMING UNINTERRUPTED FROM FLOOR TO UNDERSIDE OF FLOOR OR ROOF DECK.
- ATTACH PIPING IN SOUND RATED WALLS WITH VIBRATION ISOLATORS. ISOLATE PIPING IN CONTACT WITH CONSTRUCTION.
- MOUNT ELECTRICAL WIRING DEVICES AND MECHANICAL TEMPERATURE SENSORS AT HEIGHTS PER SPECIFICATIONS. VERIFY SWITCH, OUTLET AND OTHER DEVICE HEIGHTS TO CLEAR CASEWORK, EQUIPMENT, AND WALL MOUNTED ITEMS INCLUDING BACK SPLASHES.
- ISOLATE AND OFFSET OUTLETS ONE STUD SPACE MINIMUM AT SOUND RATED WALLS TO PREVENT SOUND TRANSMISSION. COORDINATE SIZES AND LOCATIONS OF OPENINGS AND ROUGH-INS FOR MECHANICAL, ELECTRICAL, AND OTHER EQUIPMENT WITH RELATED SUB-CONTRACTORS, AND SHOP DRAWINGS APPROVED BY DESIGN/BUILDER BEFORE PROCEEDING WITH THE WORK.

SEE G-002 FOR CONTINUATION OF GENERAL NOTES

INDEX:

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G-002	NOTES & SYMBOLS
G-003	SCHEDULES- WINDOWS/ DOORS ENERGY CREDITS
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AS-1.1	ARCHITECTURAL SITE PLAN- HEIGHT LIMIT
AS-1.2	ARCHITECTURAL SITE PLAN- LOT COVERAGE
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2.0	EXISTING CONDITIONS
3.0	STORMWATER MINIMUM REQUIREMENTS
4.0	REFERENCES
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	C-02: FOUNDATION DRAINAGE PLAN
	C-03: DRAINAGE DETAILS
	C-04: DRAINAGE DETAILS
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	2.0 PROJECT DESCRIPTION
	3.0 ELEMENTS
	4.0 OPERATION AND MAINTENANCE
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	TESC-01: TESC PLAN
	TESC-02: TESC NOTES
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	APPENDIX III
	APPENDIX IV
	APPENDIX V
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A- 5.2	DETAILS- WALL SECTIONS- BUILDING ENVELOPE
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S-3.0	SECTIONS & DETAILS
S-3.1	SECTIONS & DETAILS
S-3.2	TYPICAL SECTIONS & DETAILS

SITE, ZONING, CODE INFORMATION

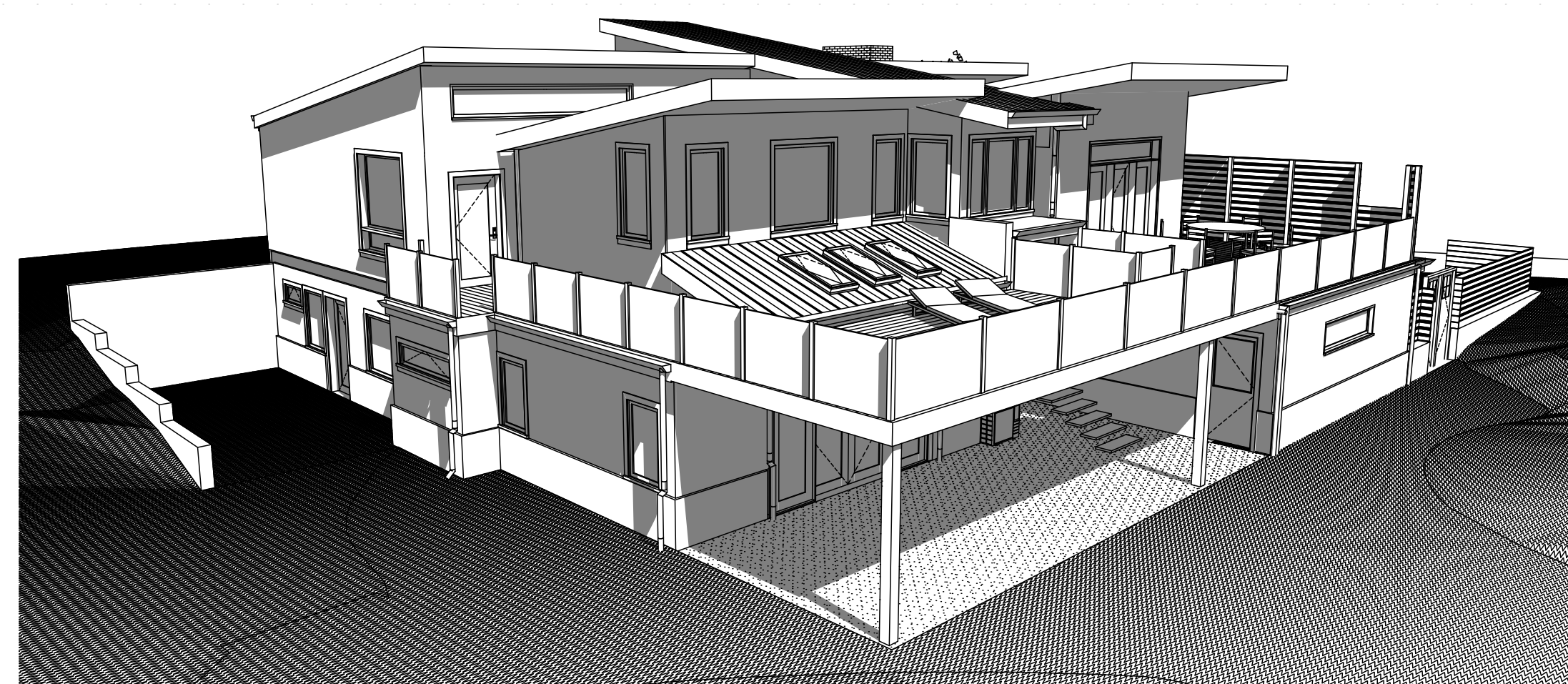
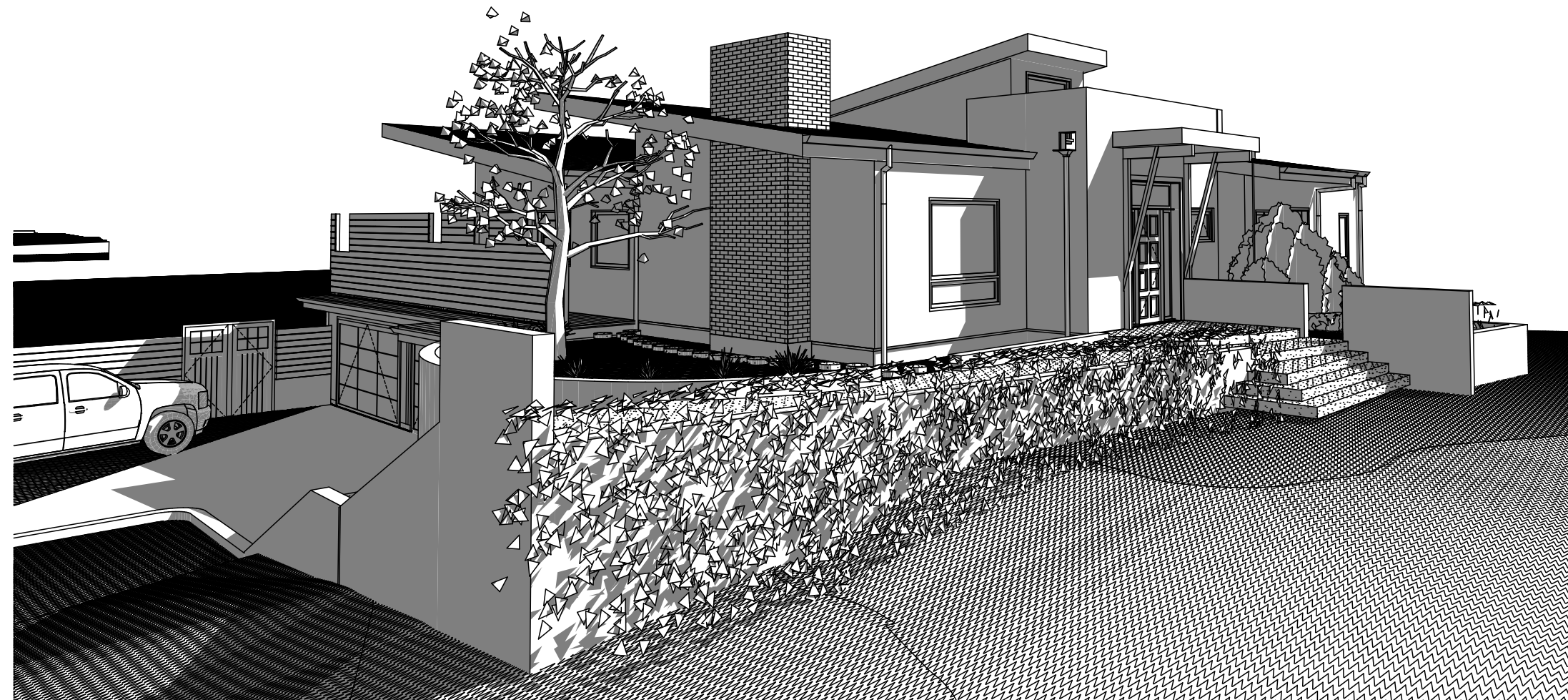
SITE INFORMATION:	
SITE OWNER:	LAURA SMITH / DAVID CUTRIGHT
PROJECT SITE ADDRESS:	7655 SE 40TH STREET SE MERCER ISLAND, WA, 98040 14663 SQ. FT.
SITE SIZE:	
AFN:	200990701001371

LEGAL DESCRIPTION: STATUTORY WARRANTY DEED THE NORTH 125 FEET OF THE EAST 120 FEET OF BLOCK 12, REPLAT OF ISLAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 13 OF PLATS, PAGE 58 IN KING COUNTY, STATE OF WASHINGTON EXCEPT THE EAST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD PURPOSES BY DEED RECORDED UNDER RECORDING NUMBER 3562391. TOGETHER WITH THE SOUTH 8.3 FEET OF THAT PORTION OF VACATED SOUTHEAST 40TH STREET. FORMERLY FREEMAN AVENUE ADJOINING SAID PREMISES ON THE NORTH.

SITE RESTRICTIONS:	
BUILDING HT.:	NO BUILDING SHALL EXCEED 30' IN HEIGHT ABOVE THE AVERAGE BUILDING ELEVATION TO THE HIGHEST POINT OF THE ROOF
SETBACKS:	
SIDE YARD SETBACKS	FRONT YARD- 20'
PER MERCER ISLAND CODE	SIDE YARDS- 7.0', 11.67'
	BACK YARD- 25'
BUILDING FIN. FLOOR ELEVATION-	208.76 FT. @ ENTRY LEVEL (SEE SITE CIVIL DWGS.)

CODE INFORMATION / ZONING / GROSS FLOOR AREA:

JURISDICTION:	CITY OF MERCER ISLAND KING COUNTY, WA
BUILDING OCCUPANCY AND TYPE OF CONSTRUCTION:	RESIDENTIAL TYPE V
ZONING:	R- 9.6



SMITH/CUTRIGHT
RESIDENCE ADDITION
7655 SE 40TH STREET SE
MERCER ISLAND, WA 98040

DRAWING INFORMATION		
DRAWN BY:	RF	
ISSUES / REVISIONS		
DATE:	NO.	DESCRIPTION

THIS DOCUMENT IS THE PROPERTY OF WESTERN EDGE ARCHITECTURE A DESIGN ALL RIGHTS RESERVED. NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION. THE DRAWINGS TO BE SOLELY TO BE USED FOR CONSTRUCTION OF THE PROJECT SITED. NO OTHER USE OF THE PLAN WITHOUT WRITTEN CONSENT OF WESTERN EDGE ARCHITECTURE IS ALLOWED. (COPYRIGHT)

Cover Sheet

G-001

ABBREVIATIONS

A
 AB Anchor Bolt
 ABV Above
 A/C Air Conditioning
 ADJ Adjacent
 AESS Architecturally Exposed Structural Steel
 A.F.F. Above Finish Floor
 AGG Aggregate
 AHU Air Handling Unit
 AL/ALUM Aluminum
 ALT Alternate / Alteration
 ANOD Anodized
 AP Access Panel/ Apron Panel/
 Acoustical Panel
 APPROX Approximate
 ARCH Architect/Architectural
 ASSY Assembly
 AVG Average
 AWP Acoustic Wall Panel
B
 BD Board
 BF Board Feet
 BFD Bi-Fold Door
 BITUM Bituminous
 BL Building Line
 BLK Building Block
 BLKG Blocking
 BLW Below
 BM Beam/Bench Mark
 B.O. Bottom Of ...
 BOT/BTM Bottom
 BRG Bearing
 BR&S Backer Rod and Sealant
 BSMT Basement
 BTWN Between
 BOW Bottom Of Wall
C
 C Celsius/ Centigrade
 CAB Cabinet
 CAP Capacity
 CARP/CPT Carpet
 CB Catch Basin/ Chalk Board
 CBB Cementitious Backer Board
 CD Ceiling Diffuser
 CEM Cement
 CFM Cubic Feet per Minute
 CHAMF Chamfer
 CI Cast Iron
 CIP Cast In Place
 CJ Const Joint or Control Joint
 CL Center Line
 CLG Ceiling
 CLK Clasp
 CLKG Caulking
 CLOS Closet
 CLR Clear or Clearance
 CLSR Closer
 CNTR Counter
 CO Clean Out
 CSO Casement Opening
 COL Column
 COMP Composition/Composite/
 Compactor
 CONC Concrete
 CONDCON Condition or Connector
 CONN Construction
 CONST Continuous
 CONTR Contractor
 CORR Corridor
 CSMT Casement
 CS Course
 CSWK Casework
 CTG Coating
 CTR Center
 CTSK Countersunk
 CU FT Cubic Feet
 CU YD Cubic Yard
 CW Cold Water/Curtain Wall
D
 D Dryer (Clothes)
 d penny (nails)
 db decibel
 DBL Double
 DECID Deciduous
 DEMO Demolish or Demolition
 DEPT Department
 DET Detail
 DF Drinking Fountain/ Doug Fir
 DIA Diameter
 DIAG Diagonal
 DICA Drilled In Concrete Anchor
 DIFF Diffuser
 DIM Dimension
 DISP Disposal
 DL Dead Load
 DIV Division
 DN Down
 DP Damp Proofing
 DR Door
 DS Downspout
 DT Drain Tile
 DW Dishwasher, Dumbwaiter
 DWG Drawing
 DWR Drawer
E
 E East
 EA Each
 EB Expansion Bolt/ Edge Banding
 EF Exhaust Fan
 EG Exhaust Grille
 EAAGGR Exposed Aggregate
 EJ Expansion Joint
 ELEV Elevation
 ELEC Electric or Electrical
 ELEV Elevator
 ENTR Entrance
 EP Electrical Panelboard/ End Panel
 EMB Embed
 ENCL Enclose or Enclosure
 ENGR Engineer
 E.O.S. Edge Of Slab
 EP Electrical Panel
 EQ Equal
 EQUIP Equipment
 ES Each Side
 ETR Existing To Remain
 EW Each Way
 EXCAV Excavate/Excavation
 EXH Exhaust
 EX Existing
 EXP Expansion
 EXT Exterior

F
 F Fahrenheit
 FB Flat Bar/ Floor Box
 FBD Fiber Board
 FC/ FCU Fan Coil Unit
 FD Floor Drain
 FDN Foundation
 FF Factory Finish
 FFE Finish Floor Elevation
 FIC Furnished & Installed by Contractor
 FIN Finish or Finished
 FIO Furnished & Installed by Owner
 FL Floor
 FLASH Flashing
 FLR Floor
 FM From
 FO Face Of ...
 FOC Face Of Concrete
 FOF Face Of Framing
 FOIC Furnished & Installed by Contractor Trade
 FOFIN Face Of Finish
 FOS Face Of Stud
 FPP Fire Proofing/ Fireplace Folding Panel Partition
 FR Freezer Fire Resistant
 FRP Fiberglass Reinforced Plastic
 FT Feet/ Foot
 FTG Footing
 FURN Furnished
 FURR Furring
 FUT Future
 FV Field Verify
G
 G Gas
 GA Gauge
 GALV Galvanized
 GEN Generator or General
 GFI Ground Fault Interruptor
 GL Glass or Glazing
 GLULAM Glued Laminated Wood
 GND Ground
 GR Guardrail
 GRD Grade
 GWB Gypsum Wall Board
 GYP Gypsum
H
 H Hinge/Height/High
 HB Hose Bib
 HC Handicap/ Hollow Core
 HCW Hot & Cold Water/
 Hollow Core Wood
 HD Holddown or Heavy Duty or
 Hot Dipped
 HDBD Header
 HDR Header
 HDWD Hardwood
 HDWR Hardware
 HM Hollow Metal
 HORIZ Horizontal
 HP Horsepower/ High Point/
 Column
 HR Hour/ Handrail
 HT Height
 HTG Heating
 HVAC Heating/ Ventilating/ &
 Air Conditioning
 HW Hot Water
 HWH Hot Water Heater
 HWR Contractor
 HWS Hot Water Supply
I
 ID Inside Diameter/
 Inside Dimension
 IE Indicated
 IN Inches
 IND Indicated
 INCL Including
 INFO Information
 INSP Inspection
 INST Installation
 INSUL Insulation
 INT Interior
 INV Invert
J
 JST Joist
 JT Joint
K
 K Kiln Dried
 KIP Kiln
 KIT Kitchen
 KO Knock Out
 KP Kick Plate
L
 L Length/ Left
 LAM Laminate or Laminated
 LAV Lavatory
 LB Lag Bolt
 SGEN SGEN
 LF Linear Foot
 LH Left Hand
 LL Live Load
 LT Light
 LTWT Light Weight
M
 MACH Machine
 MAINT Maintenance/ Maintain
 MATL Material
 MAX Maximum
 MB Machine Bolt/ Marker Board
 MC Medicine Cabinet
 MDO Medium Density Overlay
 MECH Mechanical
 MEMB Membrane
 MET/MTL Metal
 MEZZ Mezzanine
 MFR Manufacture, Manufactured or Manufacturer
 MG Mirror Glass
 MH Manhole
 MIN Minimum
 MIR Mirror
 MISC Miscellaneous
 MLD Molding
 MOD Module/ Modify
 MPU Multi Purpose Unit
 MRGWB Mildew Resistant Gypsum Board
 MTD Mounted
 MTL Material/ Metal/ Mosaic Tile
 MUL Mullion
 MWP Metal Wall Panel

N
 N North
 NA Not Applicable
 NIC Not In Contract
 NO. Number
 NOM Nominal
 NTS Not To Scale
 NW Northwest
O
 OA Overall
 OBS Obscure
 o/c On Center
 OD Outside Diameter
 OFF Office
 OFRD Overflow Roof Drain
 OH Overhead
 OPNG Opening
 OPP Opposite
 OS Outside
 OTS Open To Structure
 OZ Ounce
P
 P Paint/ Power/ Planter
 PAR Parallel
 PC Precast
 PDF Power Driven Fastener
 PERF Perforated
 PERI Perimeter
 PERP Perpendicular
 PG Plate Glass
 PH Phase
 PJ Panel Joint
 PL Plate/ Property Line
 PLAS Plaster
 PLYWD Plywood
 PNL Panel
 PNT Paint
 PO Purchase Order
 POL Polish
 PP Push Plate
 PREFAB Prefabricate
 PR Pair
 PREFIN Prefinished
 PSF Pounds per Square Foot
 PSI Pounds per Square Inch
 PT Paint/ Pressure Treated
 PVC Polyvinyl Chloride
 PVMT Pavement
R
 R Riser/ Relocate/ Range
 Backer Rod & Sealant
 RA Return Air
 RAD Radius
 RB Resilient or Rubber Base
 RCP Reflected Ceiling Plan
 RD Roof Drain
 REBAR Reinforcing Bar
 RECEPT Receptacle
 RECT Rectangular
 REF Reference
 REFL Reflected
 REFR Refrigerator
 REF STR Reference Structural
 REG Register
 REIN Reinforced
 REQD Required
 RESIL Resilient
 RET Retaining/ Return
 REV Revision or Revised
 RH Right Hand/ Robe Hook/
 Round Head
 RM Room
 RMV Remove
 RO Rough Opening
 ROW Right Of Way
 RP Radius Point
 RS Rough Sawn/ Roller Shade
 RS-E Roller Shade Electric Operated
 RWL Rain Water Leader
 RWS Roller Window Shade
S
 S South/Shelf
 SAWM Self-Adhering Waterproof
 Membrane
 S&R Shelf & Rod
 S&V Stain & Varnish
 SAN Sanitary
 SC Solid Core
 SCHED Schedule
 SCHD Solid Core Wood
 SD Storm Drain
 SE South East
 SEAL Sealant
 SECT Section
 SECT Square Feet, Storefront Framing
 SF Special Floor Coating
 SFC Safety Glazing
 SGEN Semi Gloss Enamel
 SH Shelf
 SHT Sheet
 SHTG Sheathing
 SHV Sheet Vinyl
 SHWR Shower
 SIM Similar
 SL Slope or Sliding
 SLR Sealer
 SM Sheet Metal
 SMR Sheet Metal Raceway
 SMS Sheet Metal Screws
 SP Stand Pipe
 SPEC Specification
 SQ Square
 SS Solid Surface/ Service Sink
 SST Stainless Steel
 ST Stone, Street
 STC Sound Transmission Class
 STD Standard
 STK Stick
 STL Steel
 STOR Storage
 STR Structural/ Structure
 STRUCT Structural
 SUBFL Sub Floor
 SURF Surface
 SUSP Suspended
 SW Southwest
 SWC Special Wall Coating
 SYM Symmetrical
 SYS System

T
 T Tread/Toilet/Threshold/Top
 TB Towel Bar
 TBB Tile Backer Board
 T&B Top & Bottom
 T&G Tongue & Groove
 TEL Telephone
 TEL Tempered/Temporary/
 Temperature
 TF Top Of Footing
 TG Tempered Glass
 T&G Tongue & Groove
 THK Thick or Thickness
 THR Threshold
 TN Toe Nail
 TO Top Of ...
 TOB Top Of Beam
 TOC Top Of Concrete/Top of Curb
 TOD Top Of Deck
 TOF Top Of Footing
 TOI Top Of Insulation
 TOIL Toilet
 TOL Tolerance/ Total Occupancy
 Load
 TOP Top Of Plate/ Pavement
 TOS Top Of Slab/ Steel
 TOW Top Of Wall
 TP Top Plate/ Translucent Panel
 TPO Thermoplastic Membrane
 Roofing
 TS Tube Steel/Tube Section/
 TV Television
 TYP Typical
U
 UC Under Counter
 U/CUT Under Cut
 UNFIN Unfinished
 UG Under Ground
 UL Underwriter's Laboratories
 UNO Unless Noted Otherwise
 U/S Upside
 UTIL Utility
 UV Unit Ventilator/Ultra Violet
V
 V Vinyl
 VAR Varnish/Variable/Varies
 VB Vapor Barrier/Venting Base
 VEN Veneer
 VENT Ventilation
 VERT Vertical
 VEST Vestibule
 VFY Verify
 VG Vertical Grain
 VIF Verify In Field
 VOL Volume
 VP Veneer Plaster
W
 W West/Water/Clothes Washer/
 Watt/ Wide or Width
 w/ With
 w/o Without
 WC Water Closet/Wall Covering
 WD Wood
 WDW Window
 WF Wide Flange
 WH Water Heater/Water Hydrant
 WIN Window
 WG Wire Gauge
 WH Water Heater
 WM Wire Mesh
 WP Waterproof or Waterproofing
 WR Water Resistant/Waste
 Receptacle
 WWS Waterstop/Weatherstripping/
 Wainscot
 WT Weight
 WWF Welded Wire Fabric
 WWM Welded Wire Mesh

GENERAL NOTES: CONTINUED

- ROOM NAMES PROVIDED ARE TO BE USED FOR CONSTRUCTION PURPOSES ONLY.
- VERIFY SIZES AND LOCATIONS OF MECHANICAL AND ELECTRICAL EQUIPMENT PADS, CURBS, BASES, POWER, WATER AND DRAIN INSTALLATION WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. PROVIDE AND INSTALL SEISMIC BRACING & FASTENING IN ACCORDANCE WITH CODE REQUIREMENTS.
- COORDINATE EXACT LOCATION OF CONDUIT, PLUMBING, AND PIPING WITH ELECTRICAL AND MECHANICAL SUBCONTRACTORS.
- LEVEL OF FINISHES: IN FINISHED INTERIOR AREAS: NO EXPOSED PIPE, CONDUITS, DUCTS, VENTS, ETC. CONCEAL UTILITY LINES BEHIND FINISHED CONSTRUCTION UNLESS NOTED AS EXPOSED CONSTRUCTION ON DRAWINGS OR APPROVED BY ARCHITECT. IF AFOREMENTIONED WORK CANNOT BE CONCEALED WITHIN FINISHED CONSTRUCTION OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND INSTALL FURRED AND FINISHED HORIZONTAL AND VERTICAL CHASES TO MATCH ADJACENT FINISH TO CONCEAL WORK. COORDINATE WITH ARCHITECT.
- OFFSET AND ADJUST FRAMING TO MAKE FINISHED SURFACES FLUSH AND TRUE TO LINE.
- PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
- PROVIDE AND INSTALL FIRE RESISTIVE JOINT SYSTEMS, FIRE BLOCKS, DRAFT STOPS, AND FIRE-STOP SYSTEMS IN ACCORDANCE WITH THE BUILDING CODE.
- SAFETY GLAZING SHALL BE PROVIDED FOR THOSE AREAS DEFINED AS HAZARDOUS. THOSE AREAS INCLUDE;
 - GLAZING ADJACENT TO DOORS WHERE THE VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL OF THE DOOR IN A CLOSED POSITION.
 - EXPOSED AREA OF INDIVIDUAL PANES LARGER THAN 9 SQ. FT WITH THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18", TOP EDGE OF THE GLAZING IS GREATER THAN 36" AND ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY.
 - GLAZING IN WALLS CONTAINING TUBS, SHOWERS, ETC. WHERE THE BOTTOM EXPOSED EDGE IS WITHIN 60 AFF AND WITHIN 60" HORIZONTALLY FROM TUB OR SHOWER EDGE.
- SOURCES OF IGNITION FOR GAS HOT WATER TANK AND FURNACE TO BE LOCATED A MINIMUM OF 18" ABOVE FINISHED FLOOR
- DOOR BETWEEN GARAGE AND DWELLING TO BE 1 3/8" SOLID CORE OR 20 MINUTE FIRE RATED DOOR.
- DRYER TO VENT DIRECTLY TO THE OUTSIDE WITH A MAXIMUM VENT LENGTH OF 14'-0" AND A MAXIMUM OF (2) 90 DEGREE ELBOWS
- ALL (E) SMOKE DETECTORS TO BE REPLACED W/ (N). SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACKUP OR BATTERY OPERATED DETECTORS TO BE INSTALLED IN EXISTING AND NEW PORTIONS OF THE PROJECT IN THE FOLLOWING LOCATIONS:
 - EACH SLEEPING ROOM
 - CENTRALLY LOCATED IN HALLWAYS OR AREAS ACCESSING SLEEPING ROOMS
 - MINIMUM OF 1 INSTALLED ON EACH FLOOR
- SMOKE ALARMS IN EXISTING AREAS MUST BE INTERCONNECTED AND MAY USE WIRELESS TECHNOLOGY.
- PROVIDE PLUG-IN 'CO' DETECTOR ON EACH FLOOR. CO DETECTORS IN EXISTING AREAS MUST BE INTERCONNECTED AND MAY USE WIRELESS TECHNOLOGY.
- PROVIDE 1 OPENABLE ESCAPE WINDOW IN BASEMENT AND IN EACH SLEEPING ROOM MEETING ALL OF THE FOLLOWING REQUIREMENTS:
 - AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ. FT.
 - A MINIMUM CLEAR HEIGHT OF 24"
 - A MINIMUM CLEAR WIDTH OF 20"
 - A FINISHED SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISHED FLOOR LEVEL. WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3
- THE CONTRACTOR SHALL EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY FROM DAMAGE BY SETTLEMENT, FALLING DEBRIS, AND OTHER CAUSES IN CONNECTION WITH THIS WORK.
- WHERE LEAD PAINT MATERIALS MAY BE PRESENT AND ARE TO BE REMOVED, CONTRACTOR TO TAKE PROPER PRECAUTIONS TO ENSURE THAT THE EXISTING SPACES, GROUNDS, AND SOIL ARE NOT CONTAMINATED. REMOVAL OF LEAD FINISHES OR PRODUCTS TO BE DONE USING METHODS TO MINIMIZE LEAD DUST AND FLAKES, AIRBORNE PARTICLES, AND EXPOSURE TO TECHNICIANS AND RESIDENTS. DISPOSAL OF CONTAMINATED MATERIAL ACCORDING TO STATE AND LOCAL RULES.

SYMBOLS:

- GRID LINE
- CONCRETE
- BUILDING ELEVATION
- MASONRY
- BUILDING SECTION
- MARBLE
- WALL SECTION
- GROUT/MORTAR/TERRAZZO
- DETAIL OR ENLARGED PLAN
- GRAVEL
- WINDOW DESIGNATION
- ACOUSTIC TILE
- REVISION SYMBOL
- CERAMIC / QUARRY TILE
- INTERIOR ELEVATIONS
- FINISH WOOD
- NORTH ARROW
- PLYWOOD
- DOOR
- RIDGID INSULATION
- ELEVATION MARKER
- RIDGID INSULATION
- BREAK LINE
- GRAPHIC SCALE
- ROOF SLOPE
- BATT INSULATION
- STRUCTURE
- EARTH
- CARPET OR GRAVEL
- WALL AND DOOR TO BE DEMOLISHED. (ALSO SHOWN IN RED)
- STANDING SEAM METAL ROOF
- (E) WALL TO REMAIN
- GYPSUM BOARD
- SHELL CONCRETE SHEAR WALL
- SHELL INTERIOR PARTITION
- (N) INSULATED EXTERIOR WALL
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- FAN AND EXHAUST

DRAWING INFORMATION	
DRAWN BY:	RF

ISSUES / REVISIONS		
DATE	NO.	DESCRIPTION

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2018 IECC Energy Code Information

All Climate Zones	R-Value (A)	U-Factor (A)
Fenestration U-Factor (B)	N/A	0.30
Skylight U-Factor (B)	N/A	0.50
Ceiling R-Value (E)	49 (J)	0.026
Wood Frame Wall (G,K)	21 INT	0.056
Floor R-Value	30 (G)	0.029
Below Grade Wall (C,H)	10/15/21 INT+TB	0.042
Slab (D,F) R-Value & Depth	10, 2ft	N/A

A) R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the compressed R-value of the insulation from Appendix Table RA101.4 shall not be less than the R-value specified in the table
 B) The fenestration U-factor column excludes skylights.

C) "10/15/21 + 5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21 + 5TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB" means R-5 thermal break between floor slab and basement wall.
 D) R-10 continuous insulation is required under heated slab-on-grade floors. See Section R402.2.9.1.

E) For single rafter or joist-rafter ceilings, the insulation may be reduced to R-38 if the full insulation depth extends over the top plate of the exterior wall.

F) R-7.5 continuous insulation installed over an existing slab is deemed to be equivalent to the required perimeter slab insulation when applied to existing slabs complying with Section R503.1.1. If foam plastic is used, it shall meet the requirements for thermal barriers protecting foam plastics.

G) For log structures developed in compliance with Standard ICC 400, log walls shall meet the requirements for climate zone 5 of ICC 400.

H) Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard framing 16 inches on center, 78 percent of the wall cavity insulated and headers insulated with a minimum of R-10 insulation.

Fuel Normalization Credits for the 2018 WSEC

Option	Description	Credit (R2)
4	Option 3.4 Ductless mini-split heat pump system, zonal control: In homes where the primary space heating system is zonal electric heating, a ductless mini-split heat pump system with a minimum HSPF of 10.0 shall be installed and provide heating to the largest zone of the housing unit. (4)	0.5

(4) To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.

Energy Credits for the 2018 WSEC

Option	Description	Credit (R2)
1.3	Prescriptive compliance is based on Table R402.1.1 with the following modifications: Vertical fenestration U = 0.28, Floor R-38, Slab-on-grade R-10 perimeter and under entire slab, Below-grade slab R-10 perimeter and under entire slab Compliance based on Section R402.1.4: Reduce the Total conductive UA by 5%.	0.5 (N/A)
2.1	Compliance based on Section R402.4.1.2: Reduce the tested air leakage to 3.0 air changes per hour maximum at 50 Pascals or For R-2 occupancies, optional compliance based on Section R402.4.1.2: Reduce the tested air leakage to 0.3 cfm/ft2 maximum at 50 Pascals and All whole-house ventilation requirements as determined by Section M1507.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a high efficiency fan(s) (maximum 0.35 watts/cfm), not interlocked with the furnace fan (if present). Ventilation systems using a furnace including an ECM motor are allowed, provided that they are controlled to operate at low speed in ventilation only mode. To qualify to claim this credit, the building permit drawings shall specify the option being selected, the maximum tested building air leakage, and shall show the qualifying ventilation system and its control sequence of operation.	0.5 (1.0)
3.4	Ductless mini-split heat pump system, zonal control: In homes where the primary space heating system is zonal electric heating, a ductless mini-split heat pump system with a minimum HSPF of 10.0 shall be installed and provide heating to the largest zone of the housing unit. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.	1.5 (2.0)
5.6	Water heating system shall include one of the following: Electric heat pump water heater with a minimum UEF of 2.9 and utilizing a split system configuration with the air-to-refrigerant heat exchanger located outdoors. Equipment shall meet Section 4, requirements for all units, of the NEEA standard Advanced Water Heating Specification with the UEF noted above or For R-2 Occupancy, electric heat pump water heater(s), meeting the standards for Tier III of NEEA's advanced water heating specification and utilizing a split system configuration with the air-to-refrigerant heat exchanger located outdoors, shall supply domestic hot water to all units. If one water heater is serving more than one dwelling unit, all hot water supply and recirculation piping shall be insulated with R-8 minimum pipe insulation. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the water heater equipment type and the minimum equipment efficiency.	2.5 (3.0)

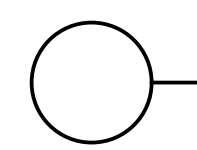
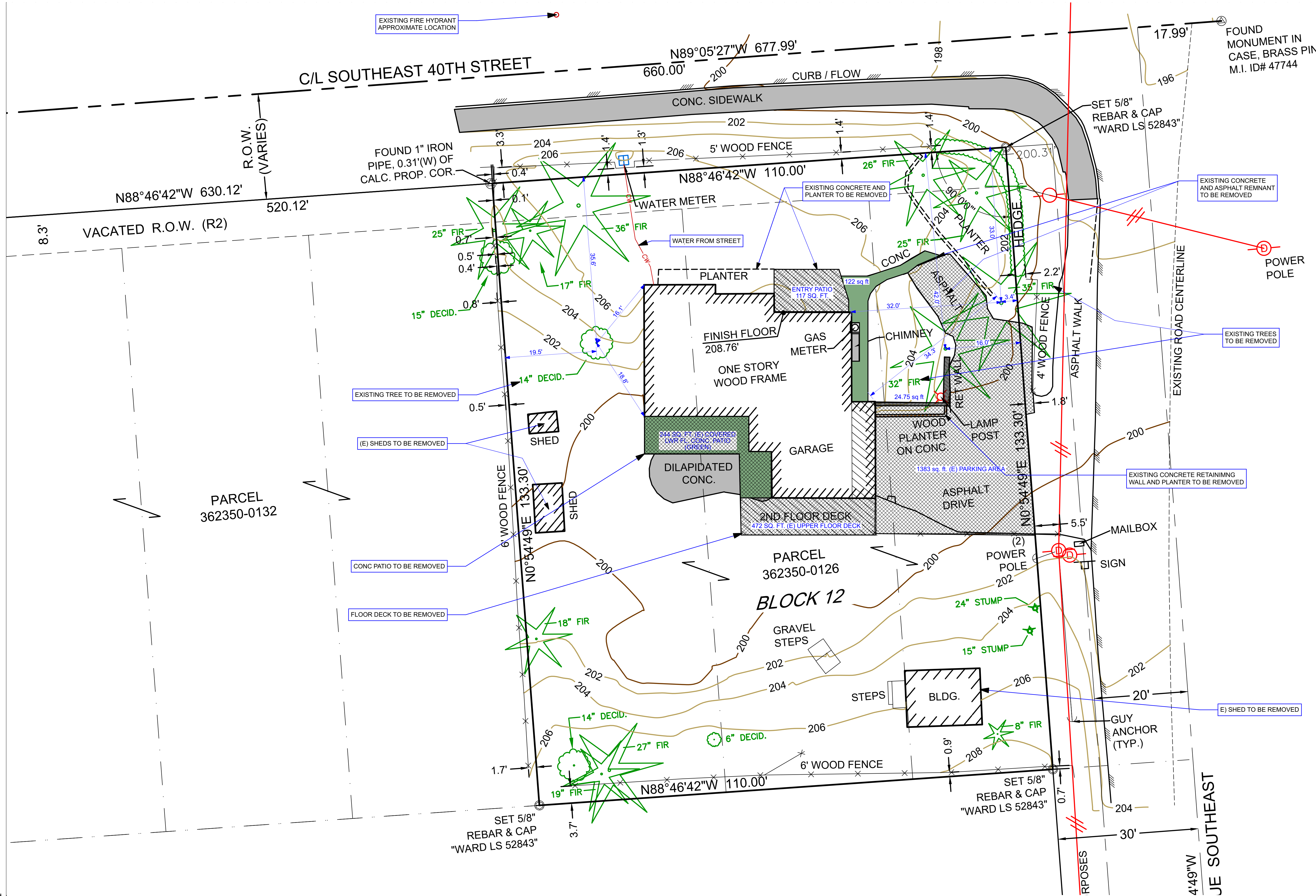
Element ID	WINDOW SIZE		WID Nominal Head Height	WID Opening Nominal Surface Area	TYPE	MATERIAL/ COLOR	U-VALUE	REMARKS
	NOMINAL WIDTH	NOMINAL HEIGHT						
W01	1'-4"	1'-10"			FIXED			EXISTING TO REMAIN / WINDOW INSIDE HEATED SPACE
W02	3'-0"	1'-6"	4'-3"	4.5	FIXED			EXISTING TO REMAIN
W03	8'-0"	2'-0"	4'-2 3/4"	16	FIXED	VINYL / WHITE	0.28	TINTED / LOW E / ARGON GAS
W04	2'-6"	4'-0"	4'-0"	10	FIXED	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W05	2'-6"	4'-0"	4'-0"	10	FIXED	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W06	6'-0"	1'-6"	4'-0"	9	AWNING	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W07	6'-0"	4'-0"	4'-0"	24	FIXED / CASEMENT	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W08	3'-0"	4'-3 1/2"	4'-3 1/2"	12.88	FIXED	VINYL / WHITE	0.28	TEMPERED / CLEAR / LOW E / ARGON GAS
W09	3'-0"	1'-6"	4'-3"	4.5	AWNING	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W10	6'-0"	5'-8"	7'-2"	34	FIXED	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W11	4'-3"	3'-8"	6'-8"	15.58	FIXED	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W12	4'-3"	3'-8"	6'-8"	15.58	FIXED	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W13	4'-3"	3'-8"	6'-8"	15.58	FIXED	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W14	6'-8"	5'-0"	9'-8 1/2"	33.33	FIXED	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W15	2'-6"	5'-0"	3'-9"	12.5	CASEMENT/ TOP	VINYL / WHITE	0.28	TINT / LOW E / ARGON GAS
W16	5'-0"	5'-0"	8'-8"	25	FIXED	VINYL / WHITE	0.28	TINT / LOW E / ARGON GAS
W17	2'-6"	5'-0"	3'-9"	12.5	FIXED	VINYL / WHITE	0.28	TINT / LOW E / ARGON GAS
W18	2'-6"	5'-0"	3'-9"	12.5	CASEMENT/ TOP	VINYL / WHITE	0.28	TINT / LOW E / ARGON GAS
W19	6'-0"	6'-4"	7'-10"	38	FIXED/ AWNING	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W20	2'-0"	5'-0"	6'-6"	10	FIXED/ AWNING	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W21	3'-0"	2'-0"	6'-8"	6	AWNING	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W22	3'-0"	2'-0"	6'-8"	6	AWNING	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W23	5'-0"	4'-0"	7'-2 3/32"	20	FIXED	VINYL / WHITE	0.28	CLEAR / LOW E / ARGON GAS
W24	8'-0"	2'-0"	2'-8 9/16"	16	FIXED	VINYL / WHITE	0.28	TINT / LOW E / ARGON GAS
W25	13'-0"	2'-0"	4'-0"	26	FIXED	VINYL / WHITE	0.28	TINT / LOW E / ARGON GAS
W26					NOT USED			
W27					NOT USED			
W28					NOT USED			
SKO1	2'-0"	4'	8'	8	FIXED		0.28	INTEGRATED CURB / CLEAR / LOW E / ARGON GAS
SKO2	2'-0"	4'	8'	8	OPERABLE		0.28	INTEGRATED CURB, MANUAL CRANK / CLEAR / LOW E / ARGON GAS
SKO3	2'-0"	4'	8'	8	FIXED		0.28	INTEGRATED CURB / CLEAR / LOW E / ARGON GAS
TOTAL				389.45				TOTAL GLAZING SQ. FT.

WINDOW SCHEDULE 122121

DOOR SCHEDULE									
ID	ROOM NAME	NOMINAL WIDTH	NOMINAL HEIGHT	LEAF THICKNESS	LEAF MATERIAL	FRAME MATERIAL	TYPE	ACCESSORIES	REMARKS
D-01	ENTRANCE	3'-0"	6'-8"	1 3/4"	WOOD/GLASS	WOOD	SC-IN SWING		SIDE LIGHT EA. SIDE W/ CLERESTORY
D-02	DINING ROOM	3'-0"	6'-8"	1 3/4"	FIBERGLASS	WOOD	SC-IN SWING		SIDE LIGHT EA. SIDE
D-03									NOT USED
D-04	RECREATION ROOM	3'-0"	6'-8"	1 3/4"	WOOD/GLASS	WOOD	SC-IN SWING		
D-05	RECREATION ROOM	3'-0"	6'-8"	1 3/4"	WOOD/GLASS	WOOD	SC-IN SWING		SIDE LIGHT
D-06	CLIENT ENTRANCE	3'-0"	6'-8"	1 3/4"	WOOD/GLASS	WOOD	SC-IN SWING		
D-07	GARAGE DOOR	11'-9 1/2"	7'-0"	1 3/4"	ALUM / GLASS	---	ROLL-UP		EXISTING
D-08	GARAGE DOOR	11'-9 1/2"	7'-0"	1 3/4"	ALUM / GLASS	---	ROLL-UP		NEW TO MATCH EXISTING
D-09	MAN DOOR (N) GARAGE	3'-0"	6'-8"	1 3/4"	SC WOOD	FIBERGLASS	SC-IN SWING		HALF LITE
D-10	SOUTH ENTRANCE	3'-0"	6'-8"	1 3/4"	WOOD/GLASS	FIBERGLASS	SC-IN SWING		FULL LITE
D-11	MASTER BEDROOM	6'-0"	6'-8"	1 3/4"	WOOD/GLASS	WOOD	DBL. PATIO-IN SWING		FULL SIDE LIGHT EA. SIDE
D-12	BEDROOM	3'-0"	6'-8"	1 3/4"	WOOD/GLASS	WOOD	PATIO-IN SWING		
D-13	HALF BATH	2'-8"	6'-8"	1 3/4"	SC WOOD	WOOD	IN SWING		5 PANEL
D-14	MECHANICAL ROOM	3'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	OUT SWING		5 PANEL
D-15	COAT CLOSET	5'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	BI-PASS		5 PANEL
D-16	LAUNDRY CHUTE	1'-0"	1'-0"	0 3/4"	STAMPED MTL	METAL	OUT SWING		
D-17	PANTRY	5'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	SLIDER		BARN DOOR HARDWARE, EXT. TRACK
D-18	HALLWAY/REC ROOM	2'-8"	6'-8"	1 3/4"	WOOD/GLASS	WOOD	PATIO-IN SWING		
D-19	GUEST WALK-IN CLOSET	2'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	OUT SWING		5 PANEL
D-20	GUEST BATH	2'-8"	6'-8"	1 3/4"	SC WOOD	WOOD	IN SWING		5 PANEL
D-21	OFFICE CLOSET	9'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	BI-PASS		FLUSH / 3 DOORS
D-22	OFFICE DOOR	3'-0"	6'-8"	1 3/4"					EXISTING TO REUSED
D-23	DOOR BET. GARAGE BAYS	6'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	SLIDER		BARN DOOR HARDWARE, EXT. TRACK
D-24	MAN DOOR (E) GARAGE	3'-0"	6'-8"	1 3/4"					EXISTING TO REUSED
D-25	CLIENT W.C.	3'-0"	6'-8"	1 3/4"	SC WOOD	WOOD	IN SWING		5 PANEL
D-26	HALL/CLIENT ENTRANCE	3'-0"	6'-8"	1 3/4"	SC WOOD	WOOD	IN SWING		5 GLASS PANEL
D-27	COAT CLOSET	2'-8"	6'-8"	1 3/4"	HC WOOD	WOOD	BI-FOLD		VENTED
D-28	MASTER BEDROOM	3'-0"	6'-8"	1 3/4"	SC WOOD	WOOD	IN SWING		5 PANEL
D-29	MASTER CLOSET-WALK IN	2'-8"	6'-8"	1 3/4"	SC WOOD	WOOD	POCKET		5 PANEL
D-30	MASTER CLOSET 1	6'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	BI-PASS		5 PANEL / 2 DOORS
D-31	MASTER BATH	2'-8"	6'-8"	1 3/4"	SC WOOD	WOOD	POCKET		5 PANEL
D-32	BEDROOM	3'-0"	6'-8"	1 3/4"	SC WOOD	WOOD	IN SWING		5 PANEL
D-33	BEDROOM WALK-IN CL.	2'-8"	6'-8"	1 3/4"	SC WOOD	WOOD	POCKET		5 PANEL
D-34	BATHROOM	2'-8"	6'-8"	1 3/4"	SC WOOD	WOOD	IN SWING		5 PANEL
D-35	BEDROOM HALLWAY	3'-0"	6'-8"	1 3/4"	SC WOOD	WOOD	IN SWING		5 PANEL
D-36	MECHANICAL	3'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	IN SWING		FLUSH
D-37	LAUNDRY	5'-0"	6'-8"	1 3/4"	HC WOOD	WOOD	BI-FOLD		VENTED
D-38	KITCHEN / REC	6'-5"	8'-0"	6 1/2"	GYP BD.	2X8 STUDS	BI-FOLD		CUSTOM BUILD- TBD
D-39	GATE	6'-7"	7'-0"	2	WOOD	2X4 STUDS	CARRIAGE		CUSTOM BUILD- TBD

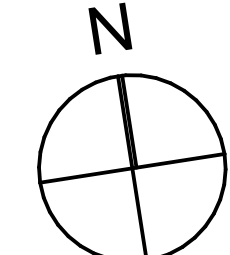
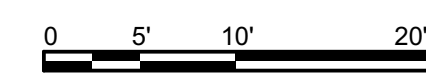
DOOR SCHEDULE

Sunday, January 30, 2023 8:49 PM



EXISTING ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'



WESTERN EDGE
ARCHITECTURE & DESIGN

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SMITH/CUTRIGHT
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MERCER ISLAND, WA 98040

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EXISTING SITE PLAN

AS-1.0

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ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'

BUILDING HEIGHT LIMIT CALCULATIONS:

SEE A-2.2, WEST ELEVATION FOR HEIGHTS
UPPER FINISH FLOOR- 208.76' = 8'-10 1/2"
LOWER FINISH FLOOR- 200.01' = 0'

WALL MIDPOINT ELEV.	WALL LENGTH	WEIGHTED VALUE
A- 206.11' X	21.17'	4363.35
B- 206.11' X	01.75'	360.69
C- 206.11' X	12.33'	2541.34
D- 206.11' X	03.91'	805.89
E- 206.11' X	16.33'	3365.77
F- 206.11' X	18.91'	3897.54
G- 206.11' X	05.42'	1117.12
H- 201.01' X	35.00'	7035.35
I- 201.01' X	22.25'	4472.47
J- 201.01' X	16.33'	3283.96
K- 201.01' X	07.00'	1407.07
L- 201.01' X	03.50'	703.54
M- 201.01' X	25.83'	5192.08
N- 201.01' X	15.17'	3049.32
O- 201.01' X	02.17'	436.19
P- 201.01' X	07.96'	1600.04
Q- 201.01' X	02.17'	436.19
R- 201.01' X	24.17'	4858.41
SUB TOTALS-	241.37	48925.71

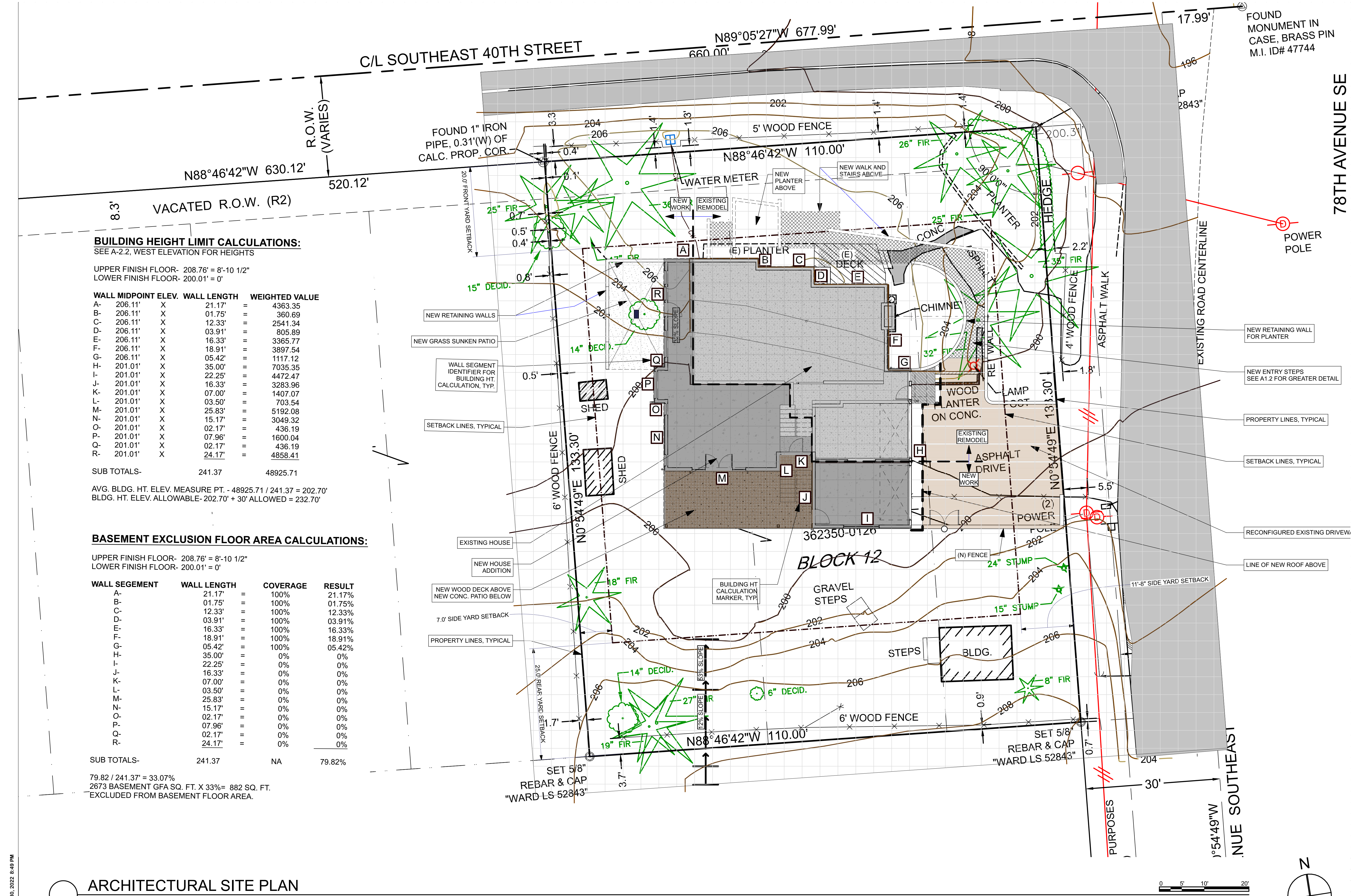
AVG. BLDG. HT. ELEV. MEASURE PT. - 48925.71 / 241.37 = 202.70'
BLDG. HT. ELEV. ALLOWABLE- 202.70' + 30' ALLOWED = 232.70'

BASEMENT EXCLUSION FLOOR AREA CALCULATIONS:

UPPER FINISH FLOOR- 208.76' = 8'-10 1/2"
LOWER FINISH FLOOR- 200.01' = 0'

WALL SEGEMENT	WALL LENGTH	COVERAGE	RESULT
A-	21.17'	100%	21.17%
B-	01.75'	100%	01.75%
C-	12.33'	100%	12.33%
D-	03.91'	100%	03.91%
E-	16.33'	100%	16.33%
F-	18.91'	100%	18.91%
G-	05.42'	100%	05.42%
H-	35.00'	0%	0%
I-	22.25'	0%	0%
J-	16.33'	0%	0%
K-	07.00'	0%	0%
L-	03.50'	0%	0%
M-	25.83'	0%	0%
N-	15.17'	0%	0%
O-	02.17'	0%	0%
P-	07.96'	0%	0%
Q-	02.17'	0%	0%
R-	24.17'	0%	0%
SUB TOTALS-	241.37	NA	79.82%

79.82 / 241.37 = 33.07%
2673 BASEMENT GFA SQ. FT. X 33%= 882 SQ. FT.
EXCLUDED FROM BASEMENT FLOOR AREA.



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SMITH/CUTRIGHT RESIDENCE ADDITION

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ARCH SITE PLAN- HT. LIMIT CALCS

AS-1.1

78TH AVENUE SE

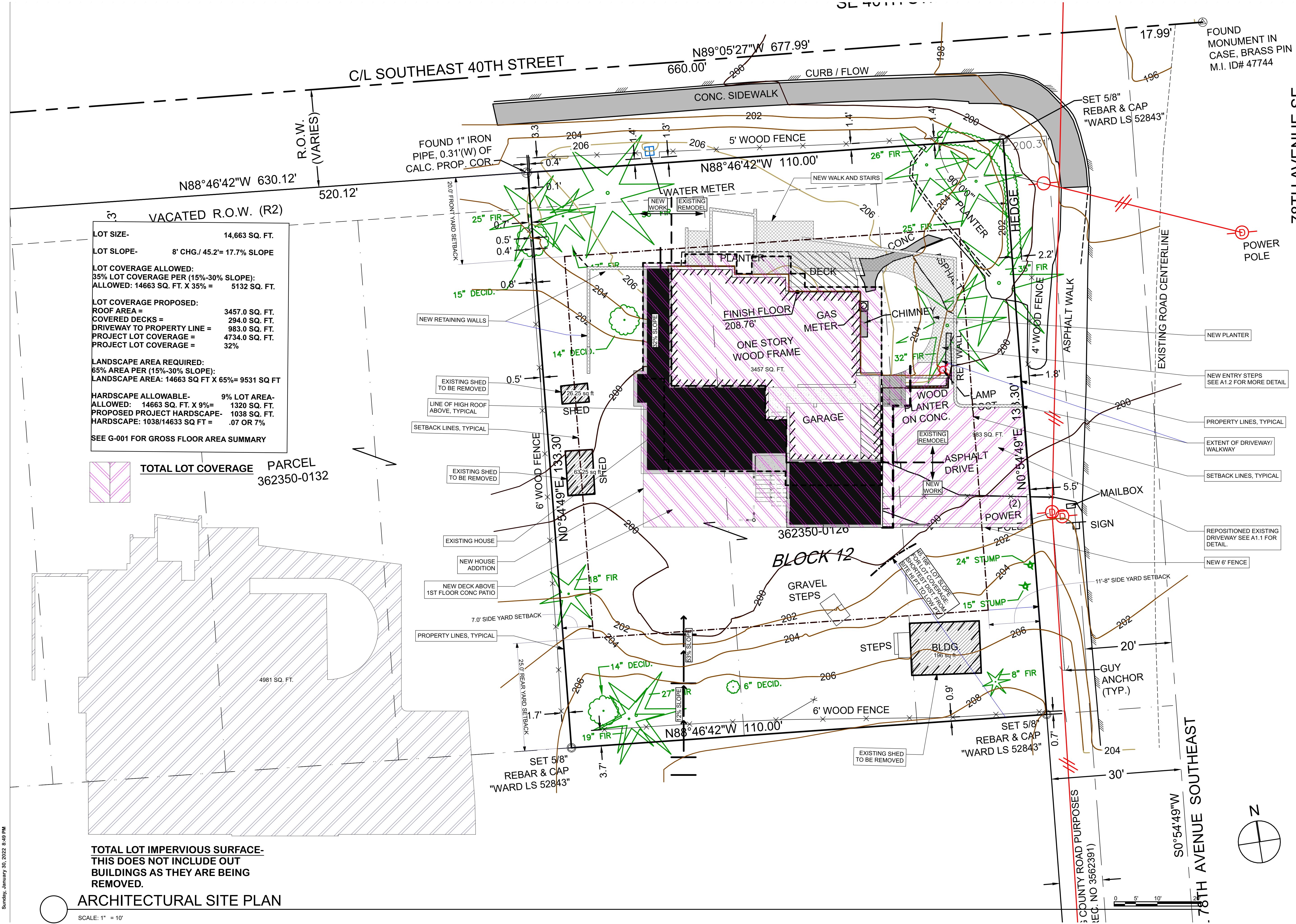
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LOT COVER
SITE PLAN

AS-1.2

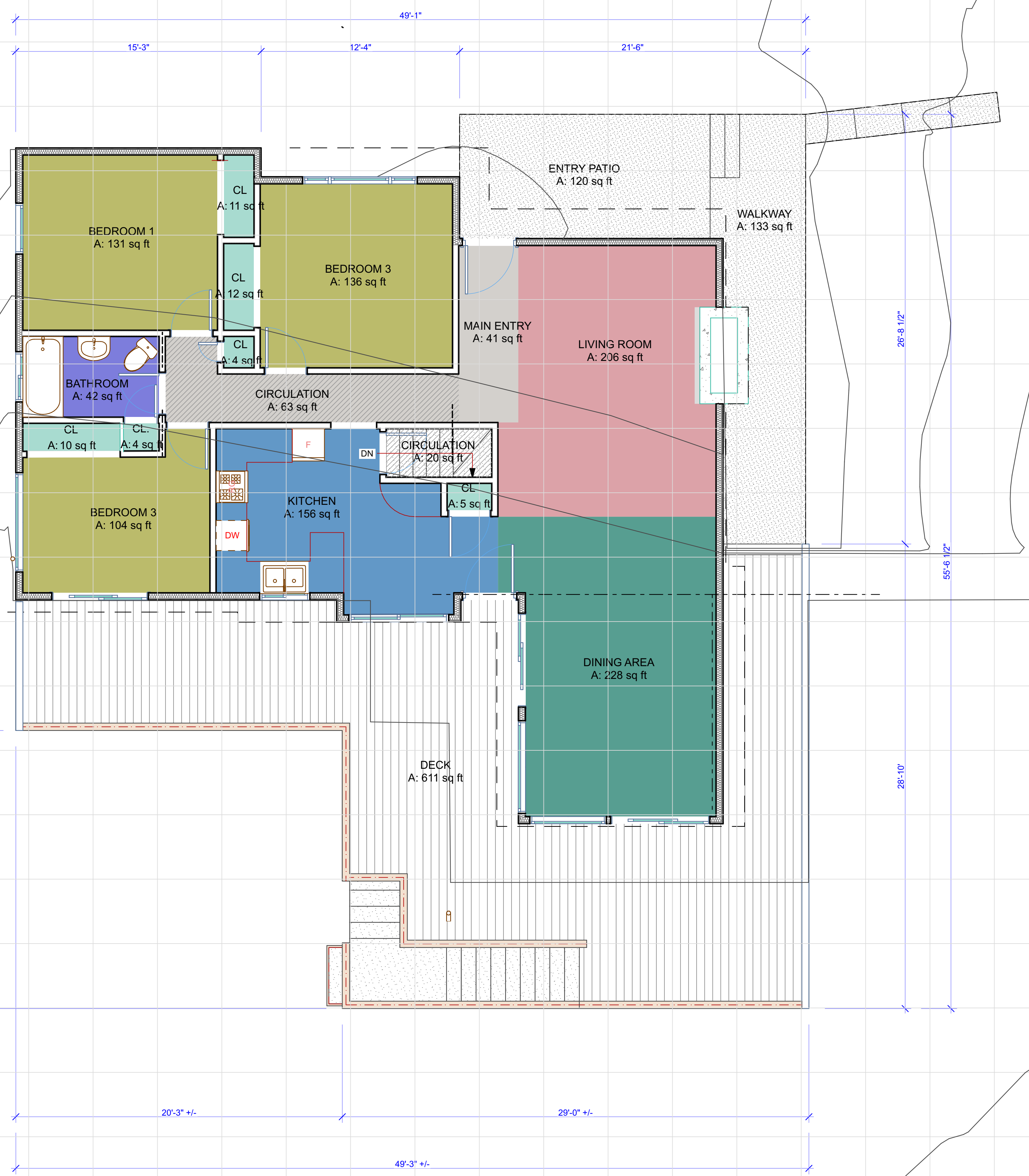
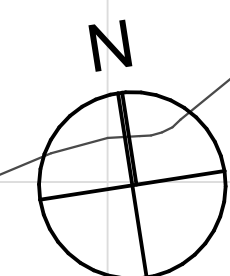
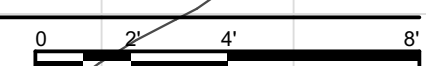


Sunday, January 30, 2022, 8:49 PM

Sunday, January 30, 2022 8:49 PM

2ND FLOOR EXISTING PLAN

SCALE: 1/4" = 1'-0"



AREA SUMMARY	
(E) UPPER FLOOR-	1224 SQ. FT.
(E) UPPER CONCRETE PATIO-	120 SQ. FT.
(E) UPPER DECK-	611 SQ. FT.
(E) UPPER COVERED DECK/PATIO-	100 SQ. FT.

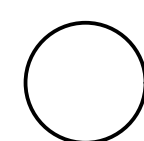
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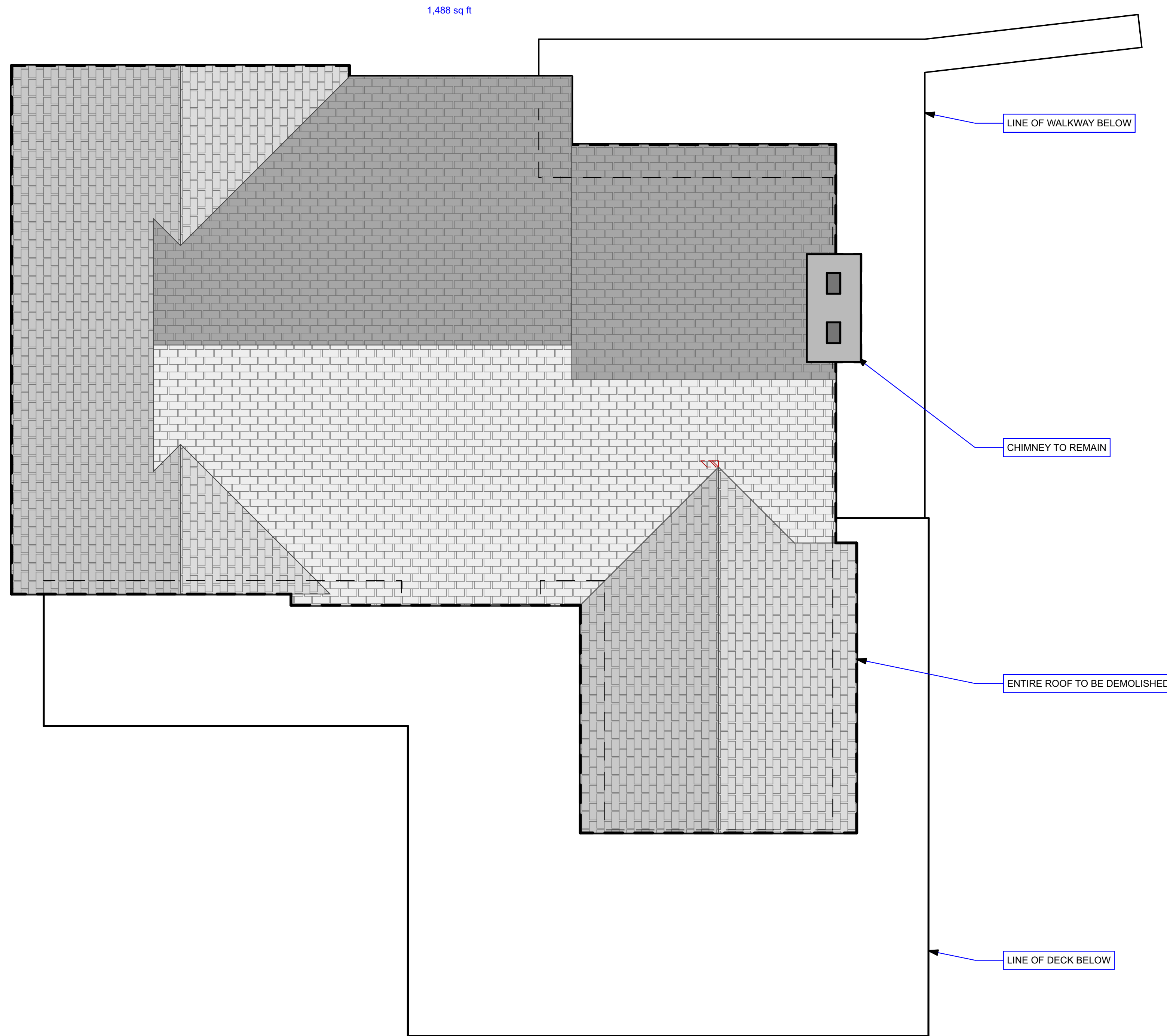
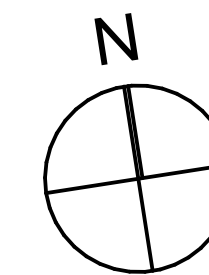
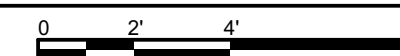
2ND FLOOR EXISTING PLAN

A-0.2



ROOF EXISTING PLAN

SCALE: 1/4" = 1'-0"



SMITH/CUTRIGHT RESIDENCE ADDITION

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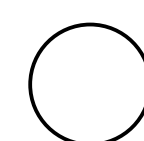
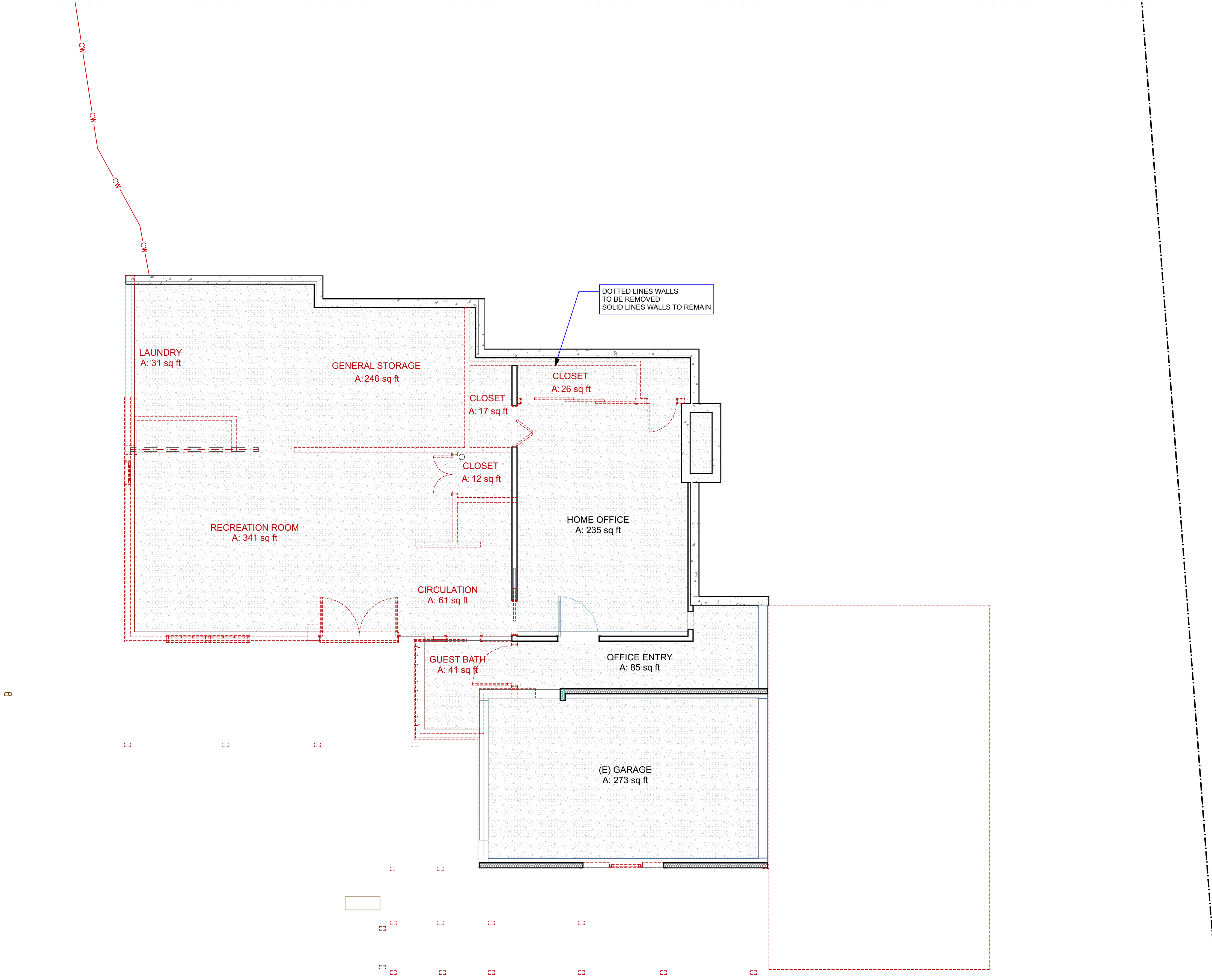
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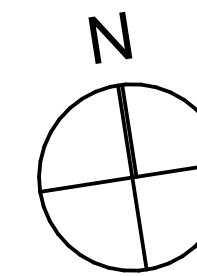
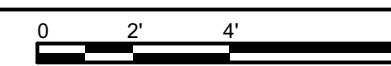
ROOF EXISTING PLAN

A-0.3



1ST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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1ST FLOOR DEMOLITION PLAN

A-0.4

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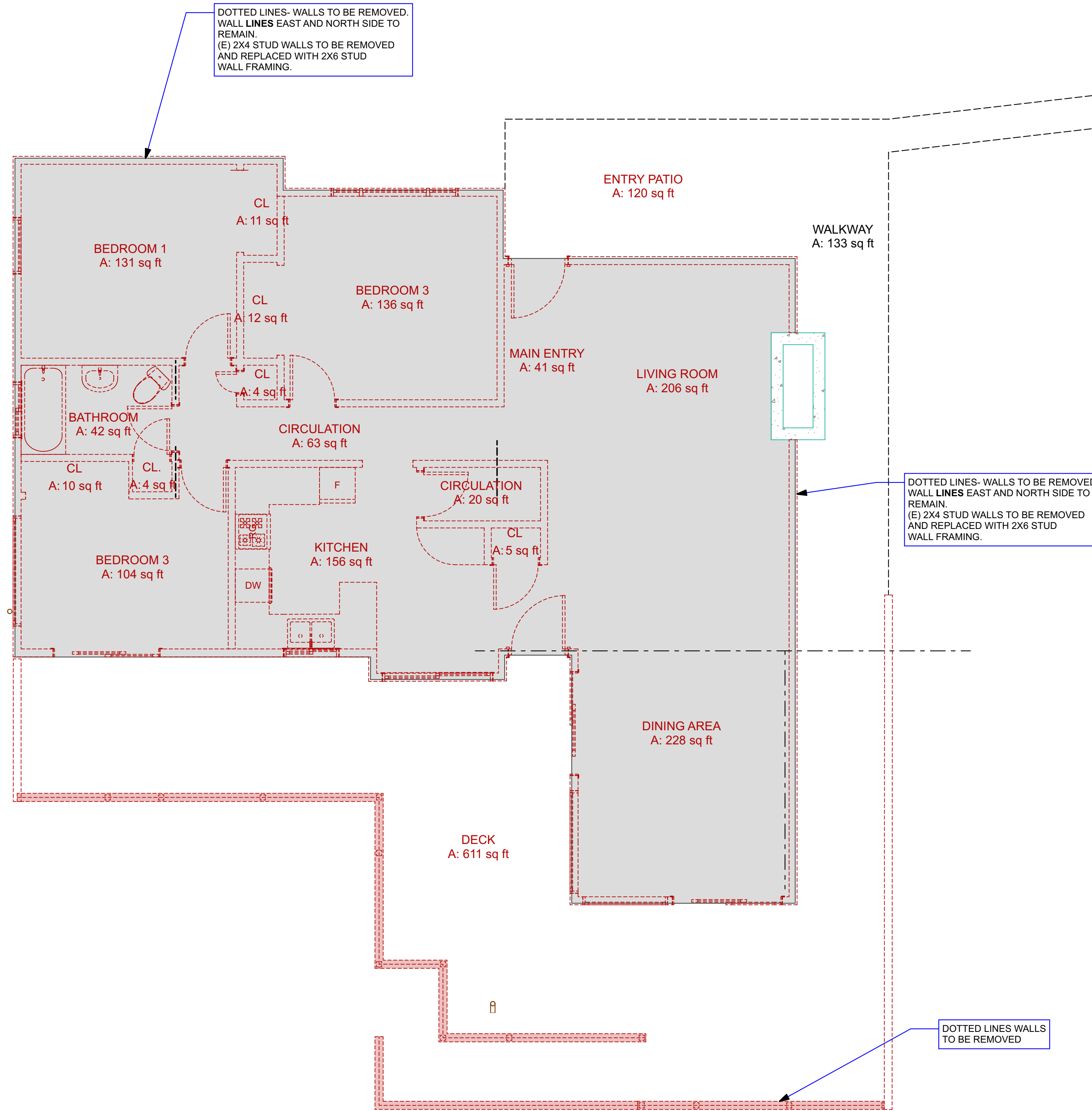
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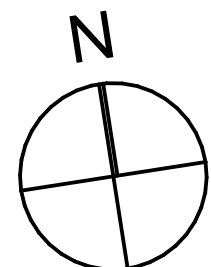
**2ND FLOOR
DEMOLITION
PLAN**

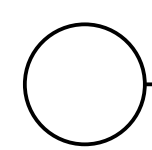
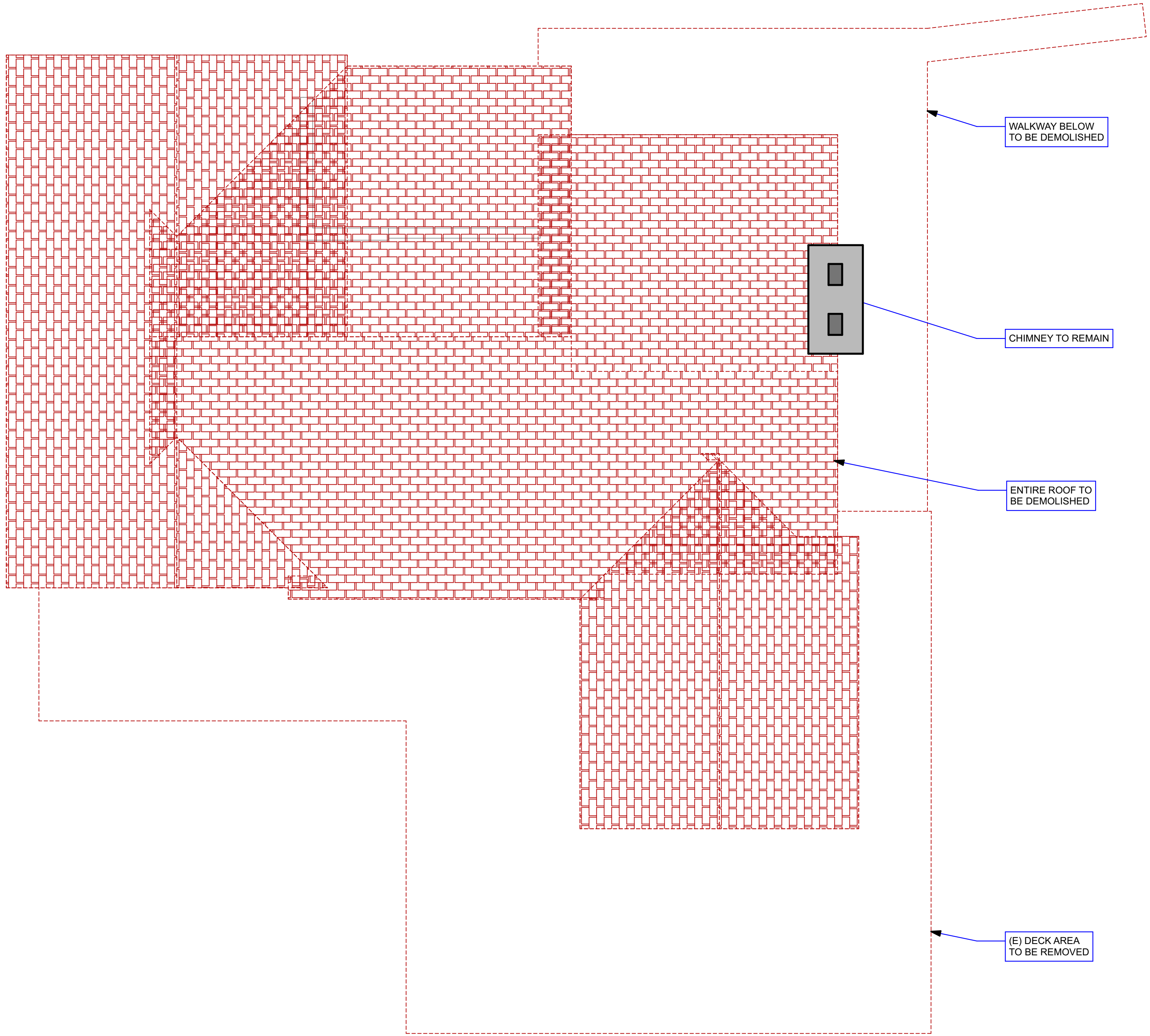
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2ND FLOOR DEMOLITION PLAN

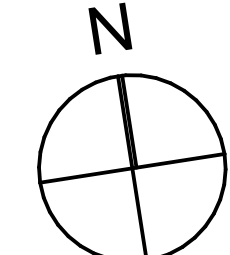
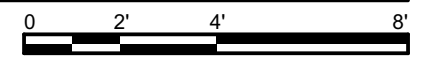
SCALE: 1/4" = 1'-0"





ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



ROOF DEMOLITION PLAN

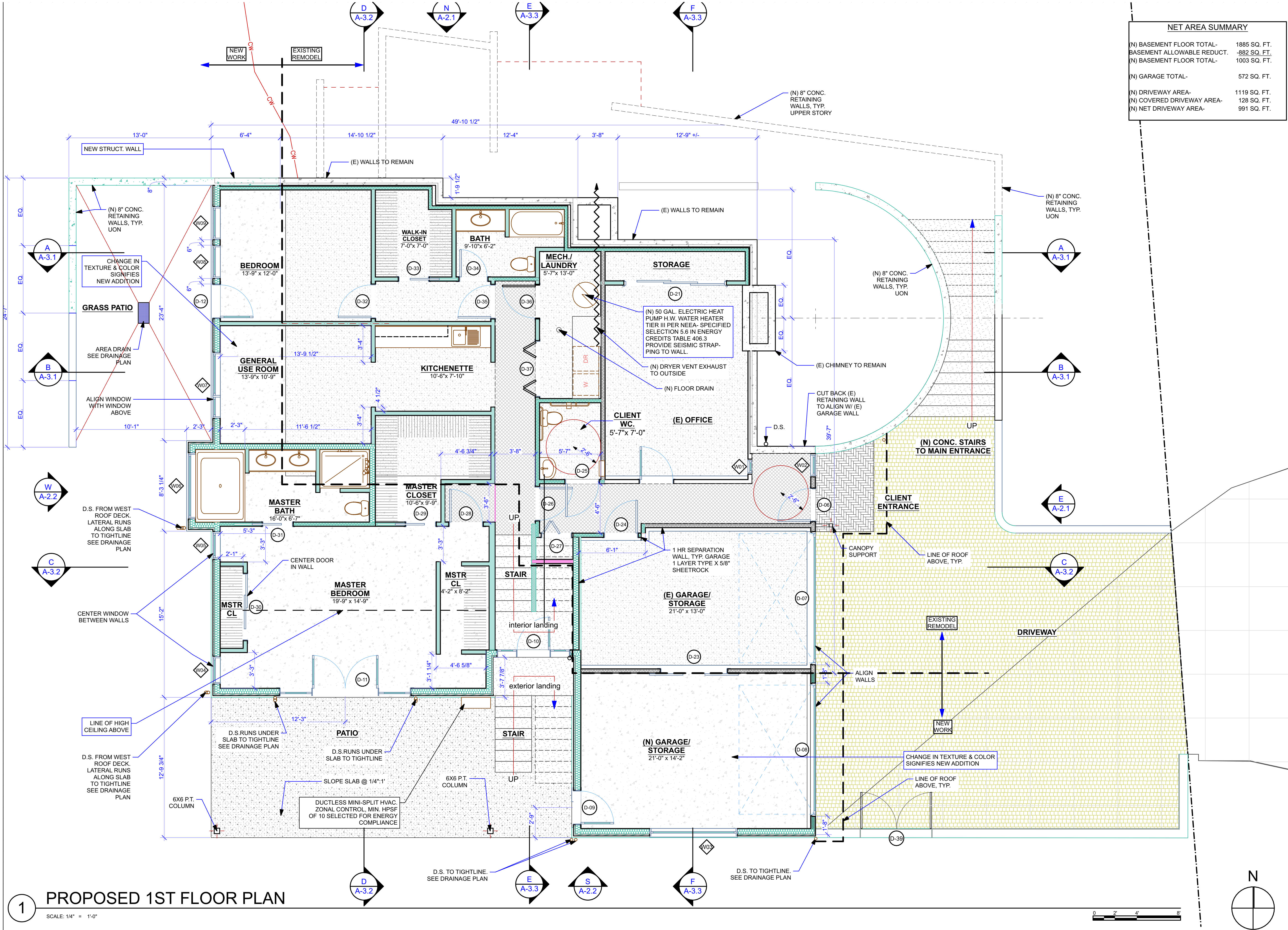
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**SMITH/CUTRIGHT
RESIDENCE ADDITION
7655 SE 40TH STREET SE
MERCER ISLAND, WA 98040**



NET AREA SUMMARY

(N) BASEMENT FLOOR TOTAL-	1885 SQ. FT.
BASEMENT ALLOWABLE REDUCT.	-882 SQ. FT.
(N) BASEMENT FLOOR TOTAL-	1003 SQ. FT.
(N) GARAGE TOTAL-	572 SQ. FT.
(N) DRIVEWAY AREA-	1119 SQ. FT.
(N) COVERED DRIVEWAY AREA-	128 SQ. FT.
(N) NET DRIVEWAY AREA-	991 SQ. FT.

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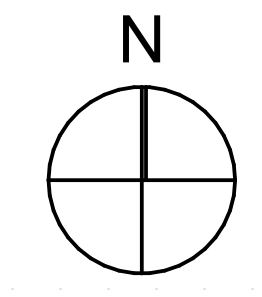
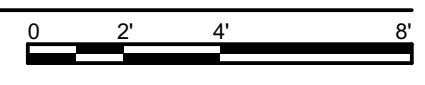
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PROPOSED 1ST FLOOR PLAN

A-1.1

1 PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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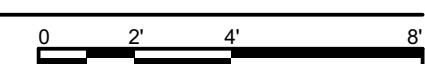
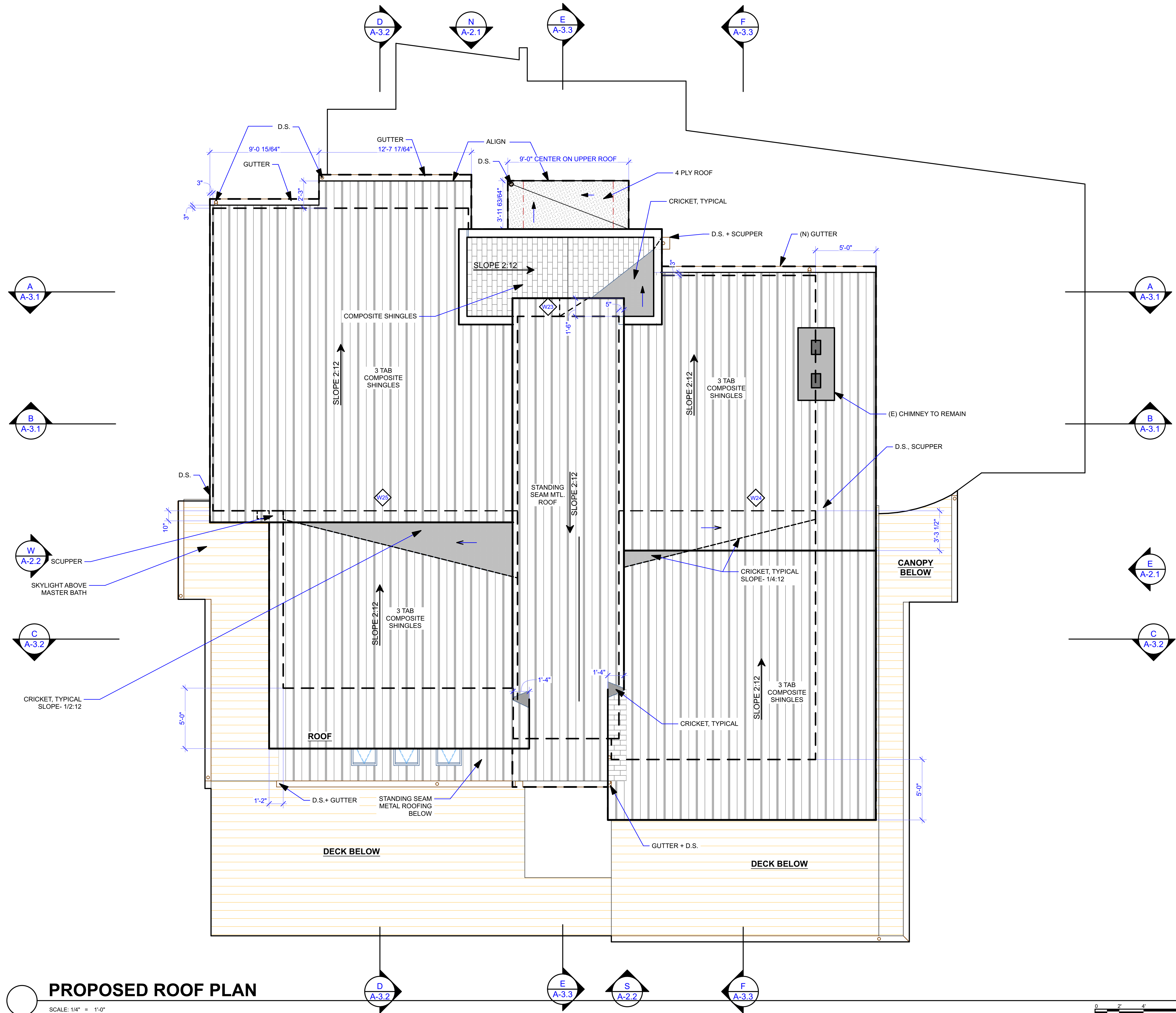
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RESIDENCE ADDITION**
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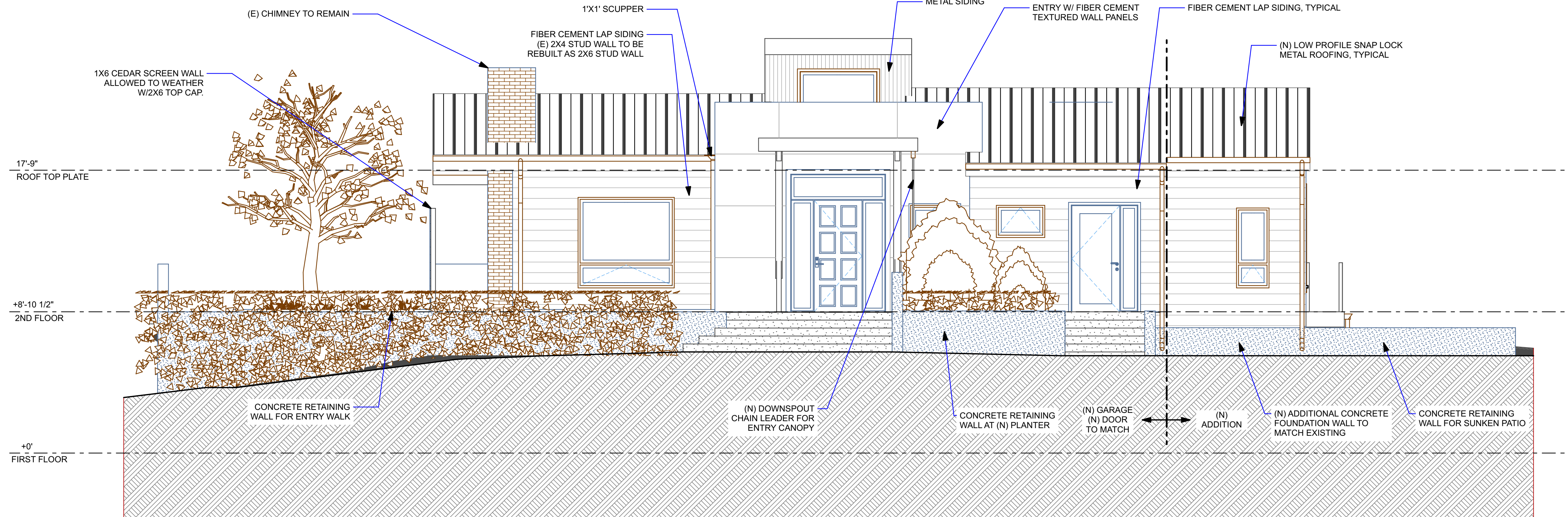
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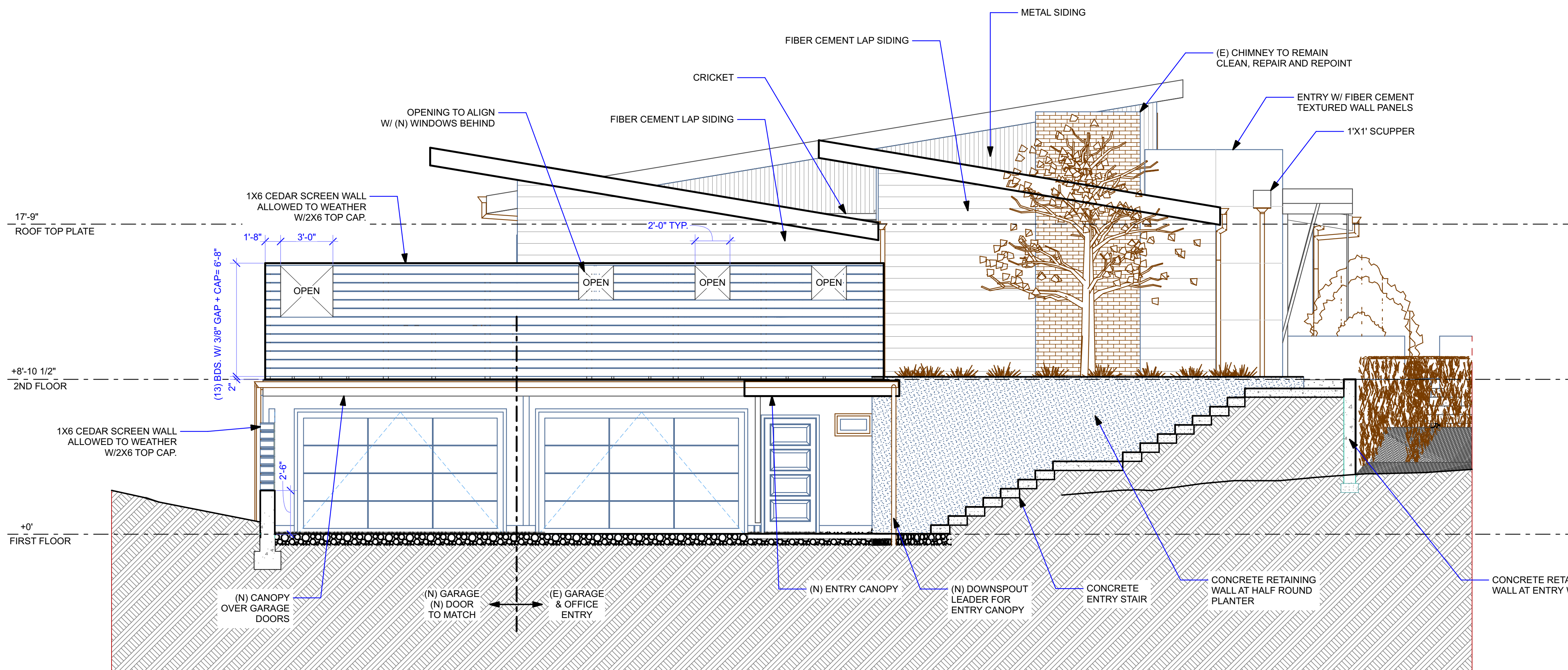
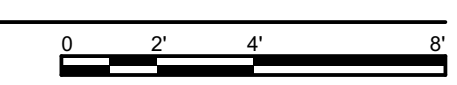
ROOF PLAN

A-1.3





N ELEVATION
SCALE: 1/4" = 1'-0"



E ELEVATION
SCALE: 1/4" = 1'-0"



SMITH/CUTRIGHT
RESIDENCE ADDITION
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EXTERIOR ELEVATIONS

**SMITH/CUTRIGHT
RESIDENCE ADDITION**
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MERCER ISLAND, WA 98040

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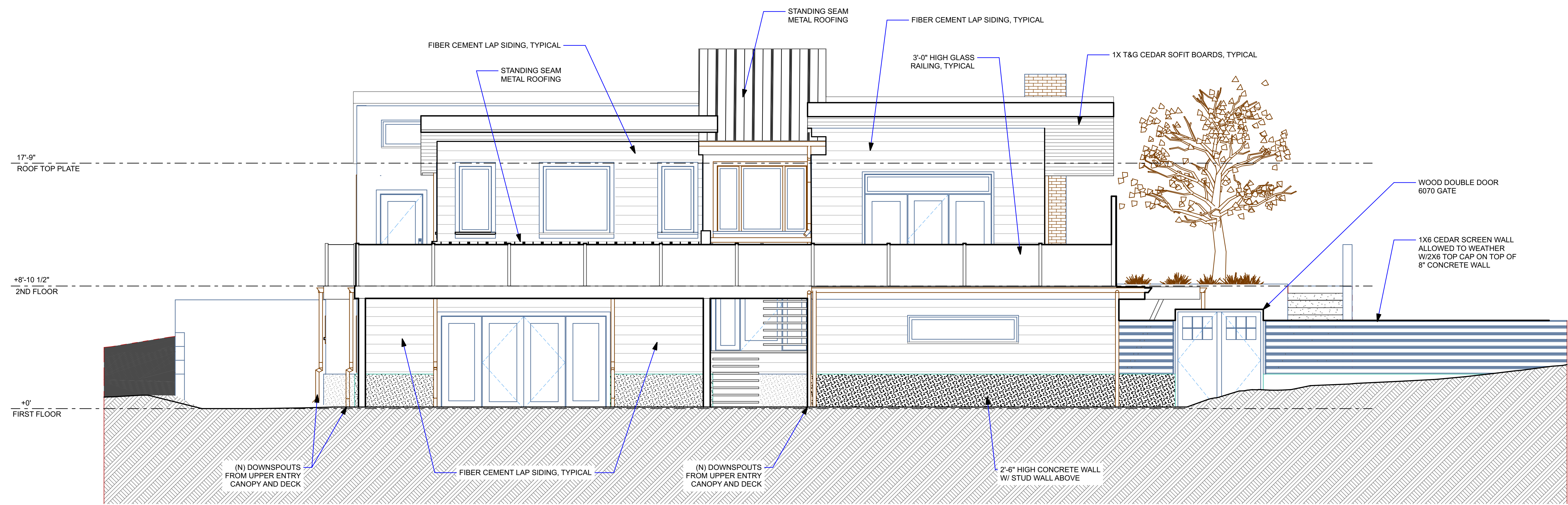
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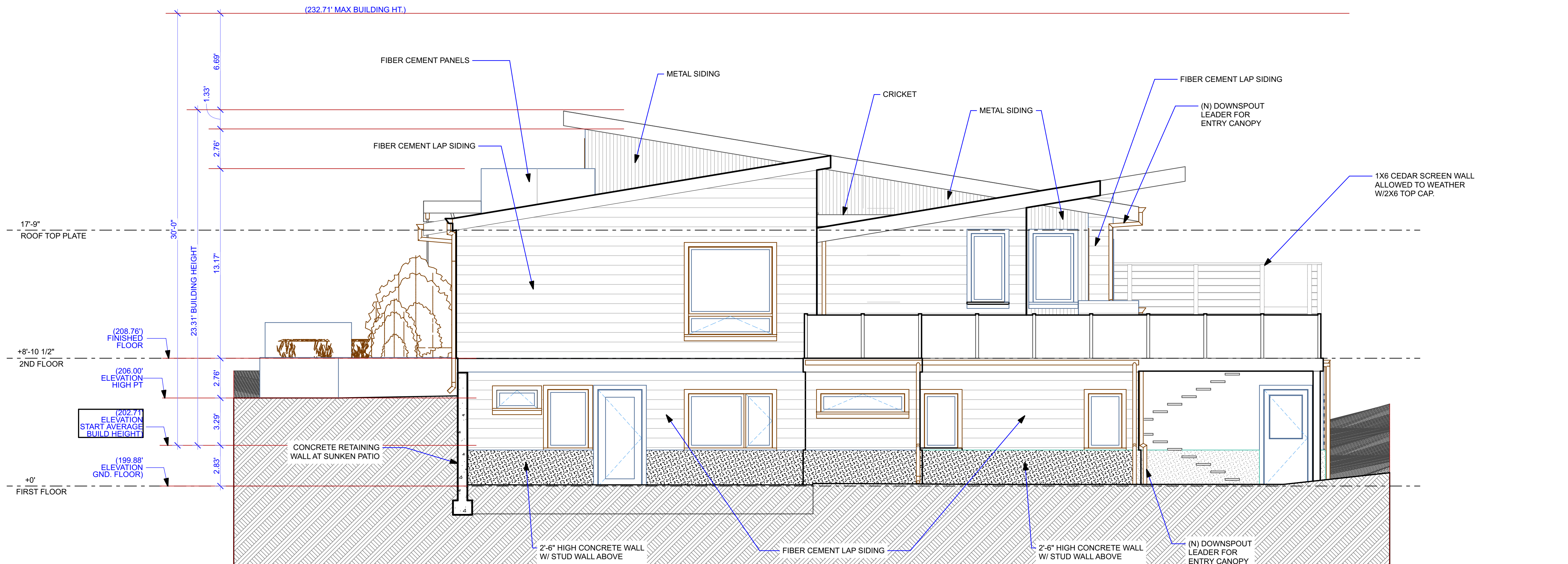
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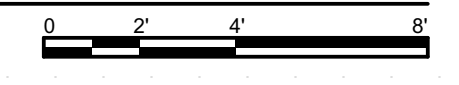
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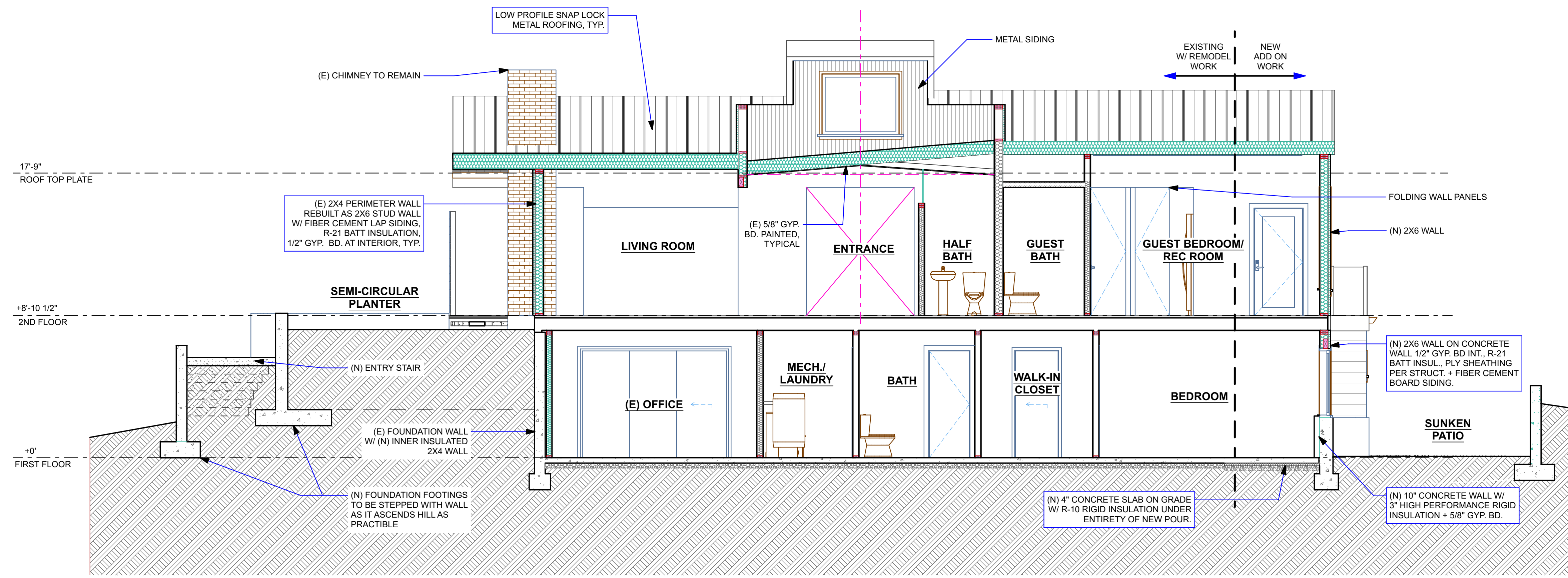
S ELEVATION
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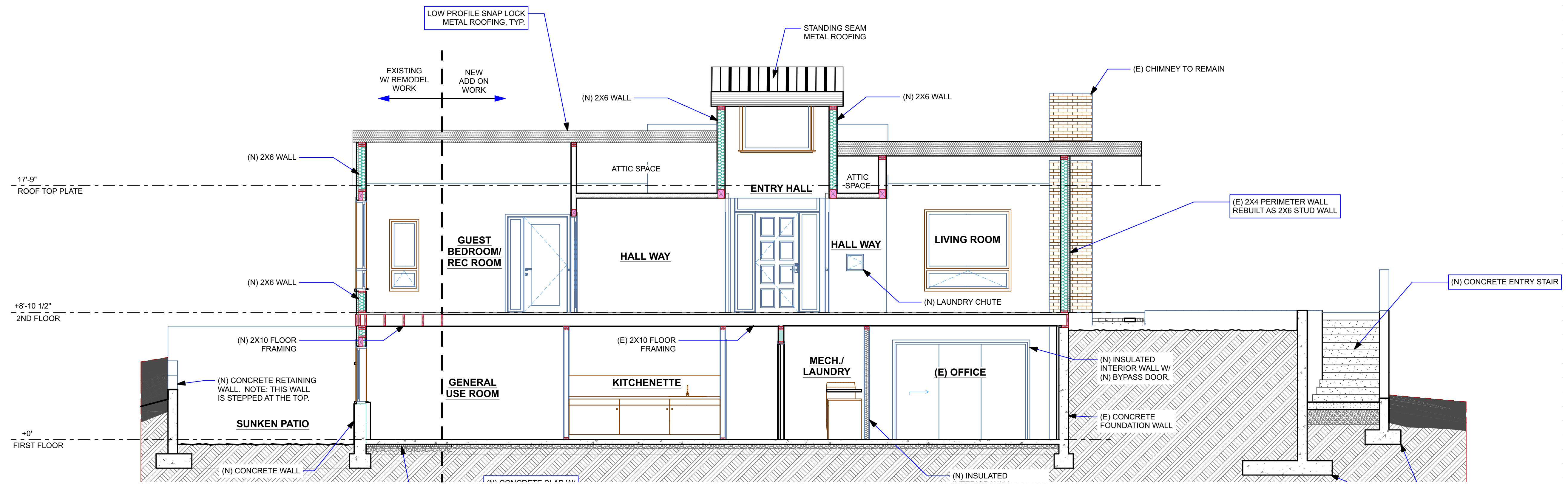
W ELEVATION
SCALE: 1/4" = 1'-0"



SMITH/CUTRIGHT
RESIDENCE ADDITION
7655 SE 40TH STREET SE
MERCER ISLAND, WA 98040



A SECTION
SCALE: 1/4" = 1'-0"



B SECTION
SCALE: 1/4" = 1'-0"

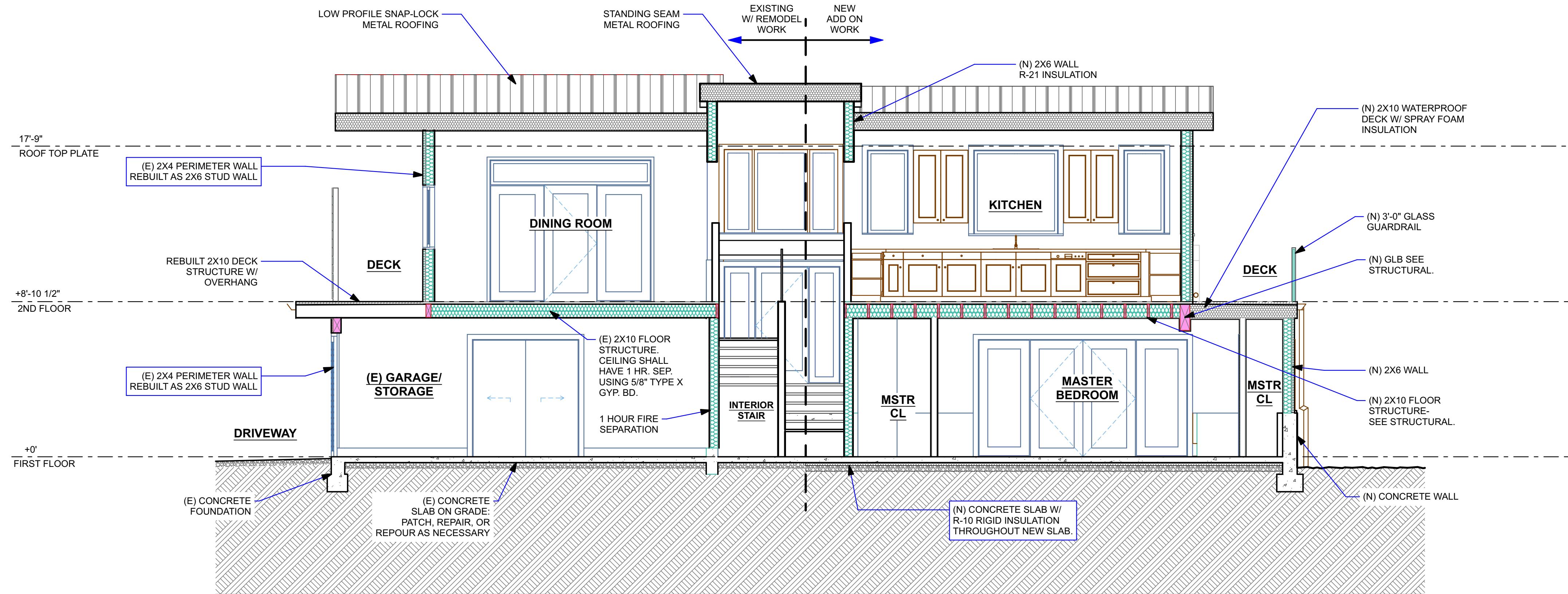
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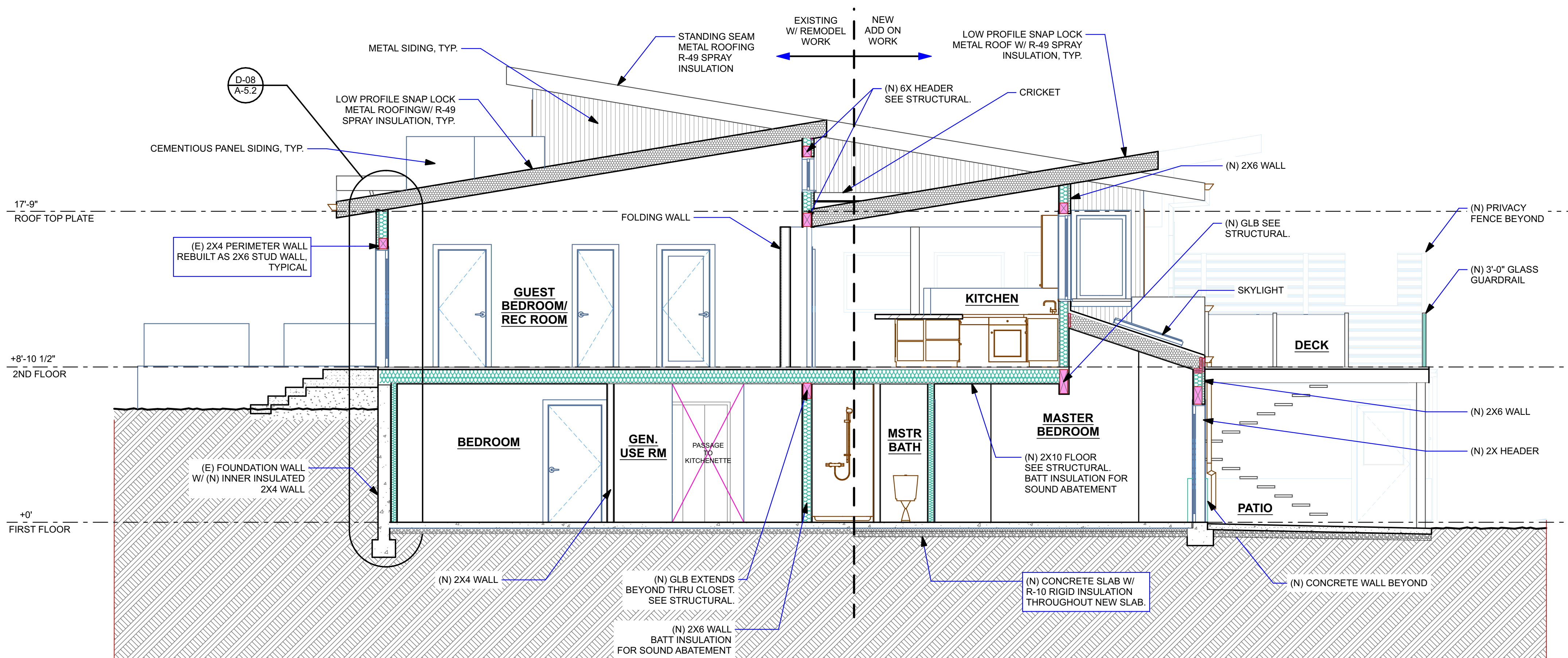
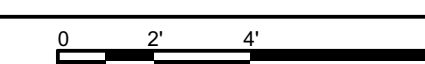
ISSUES / REVISIONS

NO.	DESCRIPTION

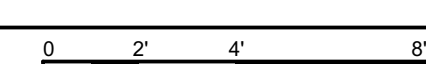
BUILDING SECTIONS



C SECTION
SCALE: 1/4" = 1'-0"



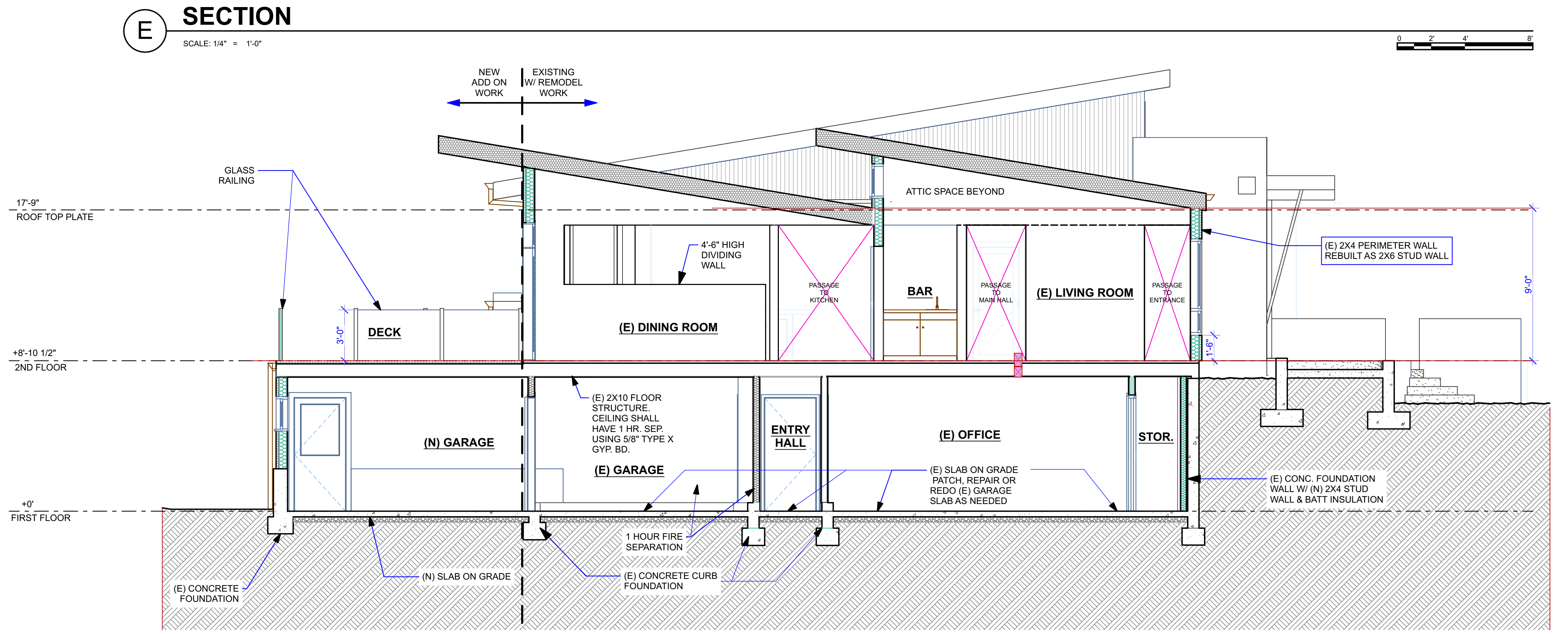
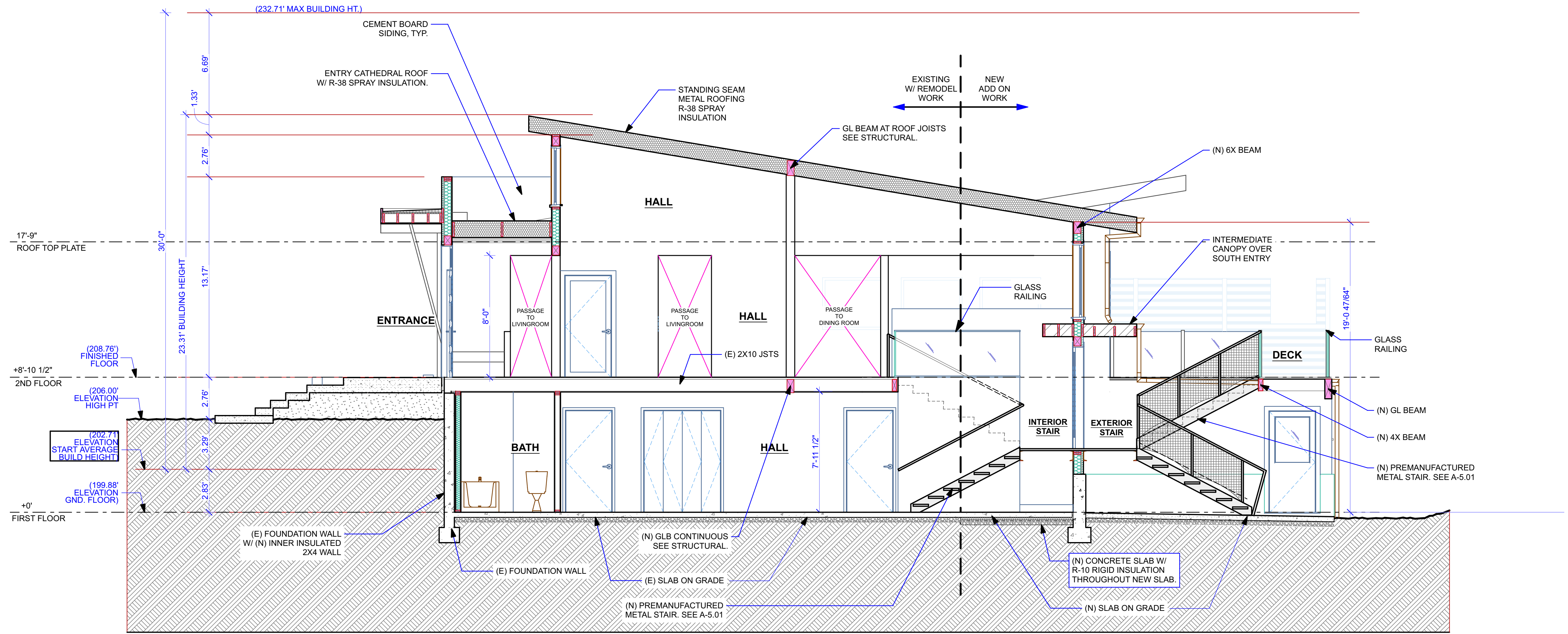
D SECTION
SCALE: 1/4" = 1'-0"



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BUILDING SECTIONS



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BUILDING SECTIONS

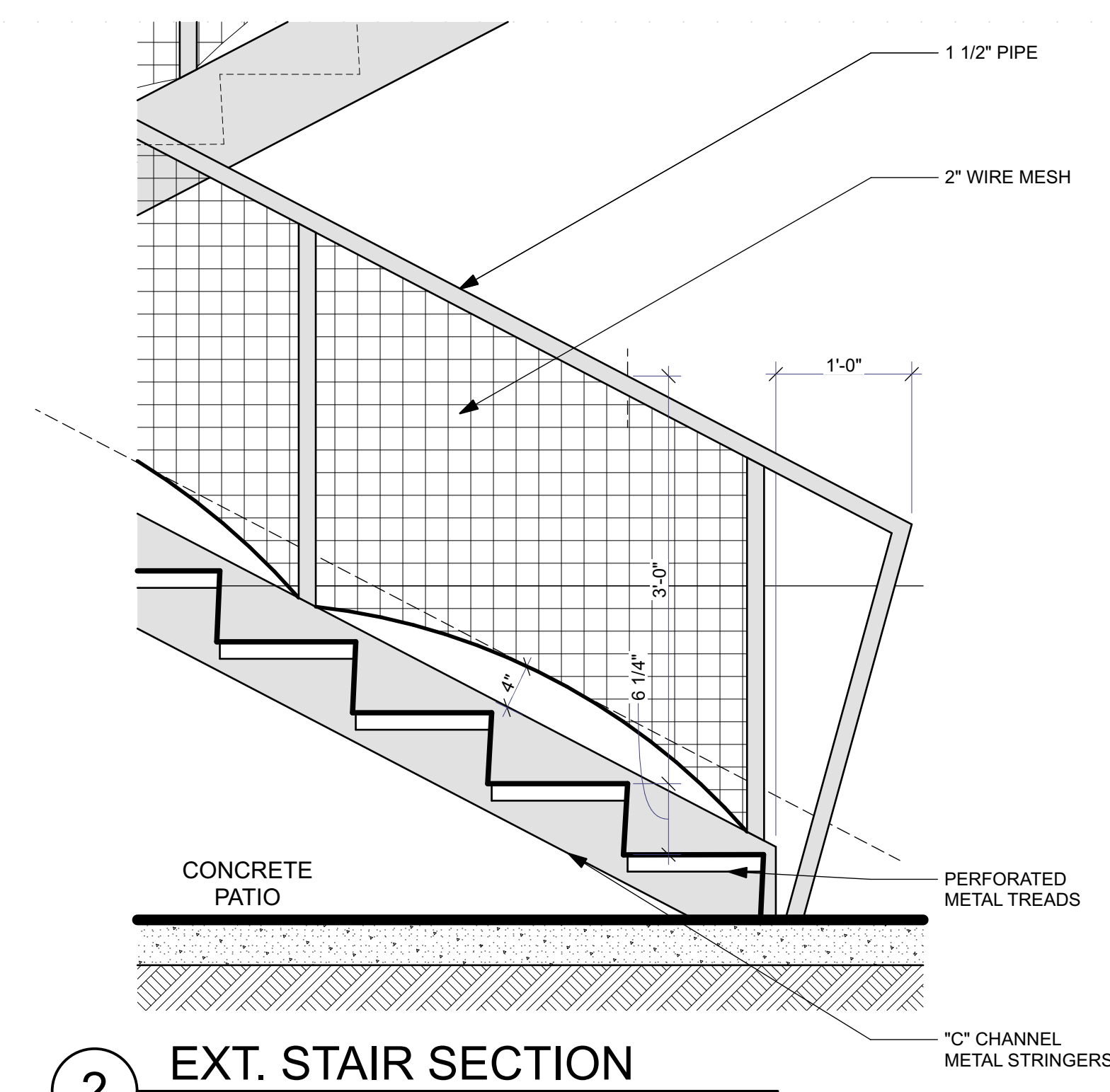
A-3.3

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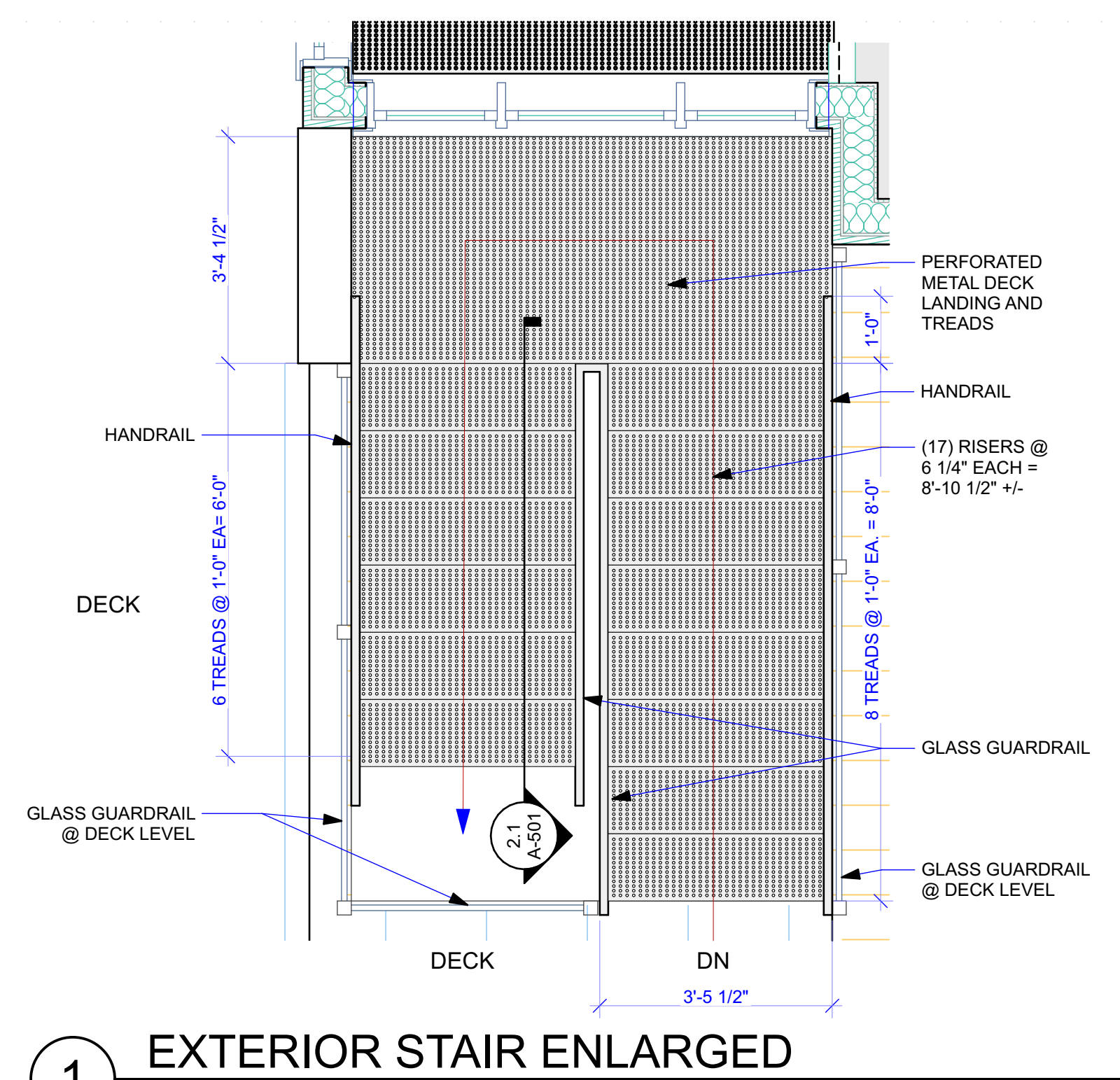
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STAIR DETAILS

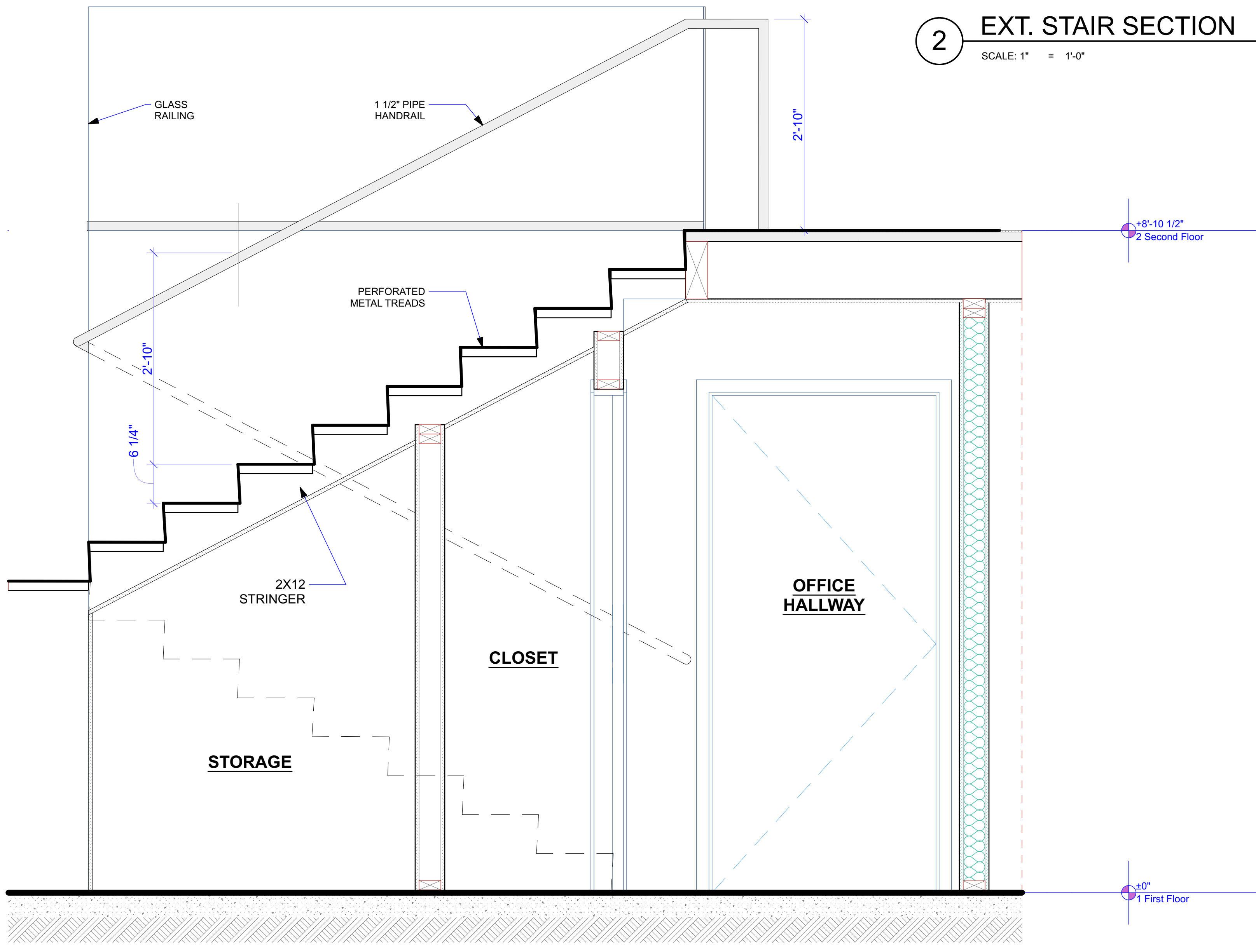
A-5.1



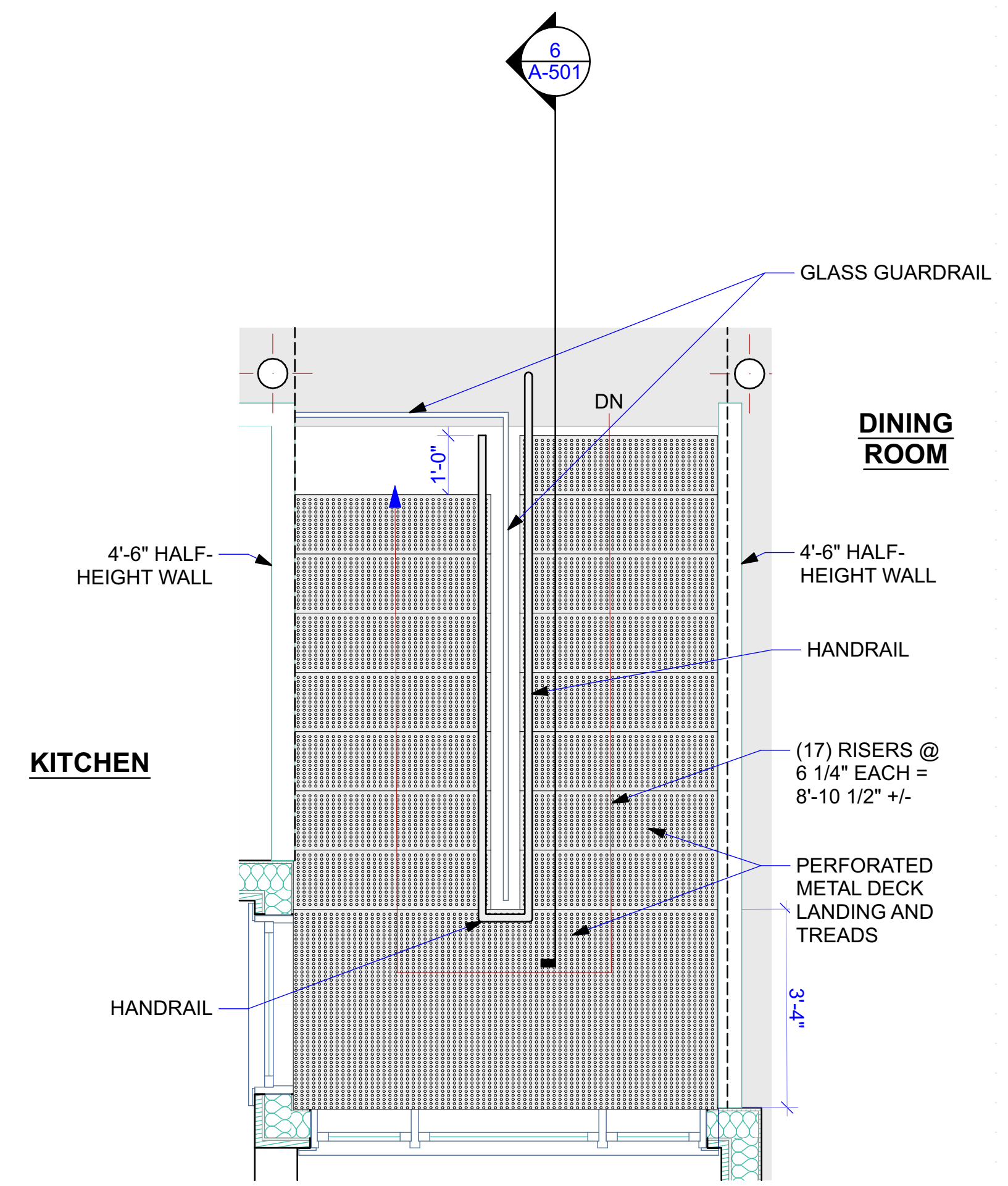
2 EXT. STAIR SECTION
SCALE: 1" = 1'-0"



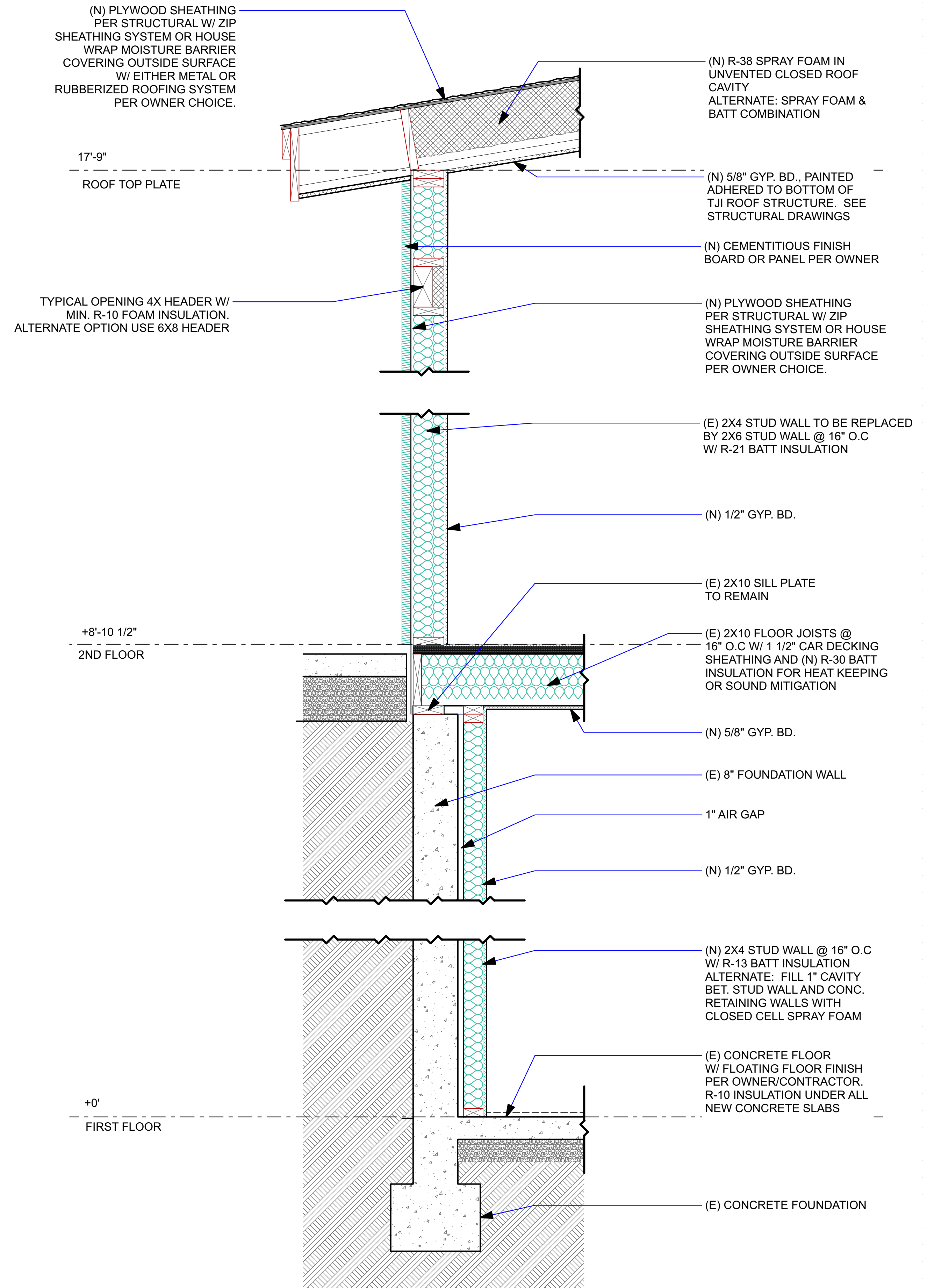
1 EXTERIOR STAIR ENLARGED
SCALE: 1/2" = 1'-0"



6 INT. STAIR SECTION
SCALE: 1" = 1'-0"



5 INTERIOR STAIR ENLARGED
SCALE: 1/2" = 1'-0"



D-08 WALL DETAIL
A-5.2 SCALE: 1" = 1'-0"

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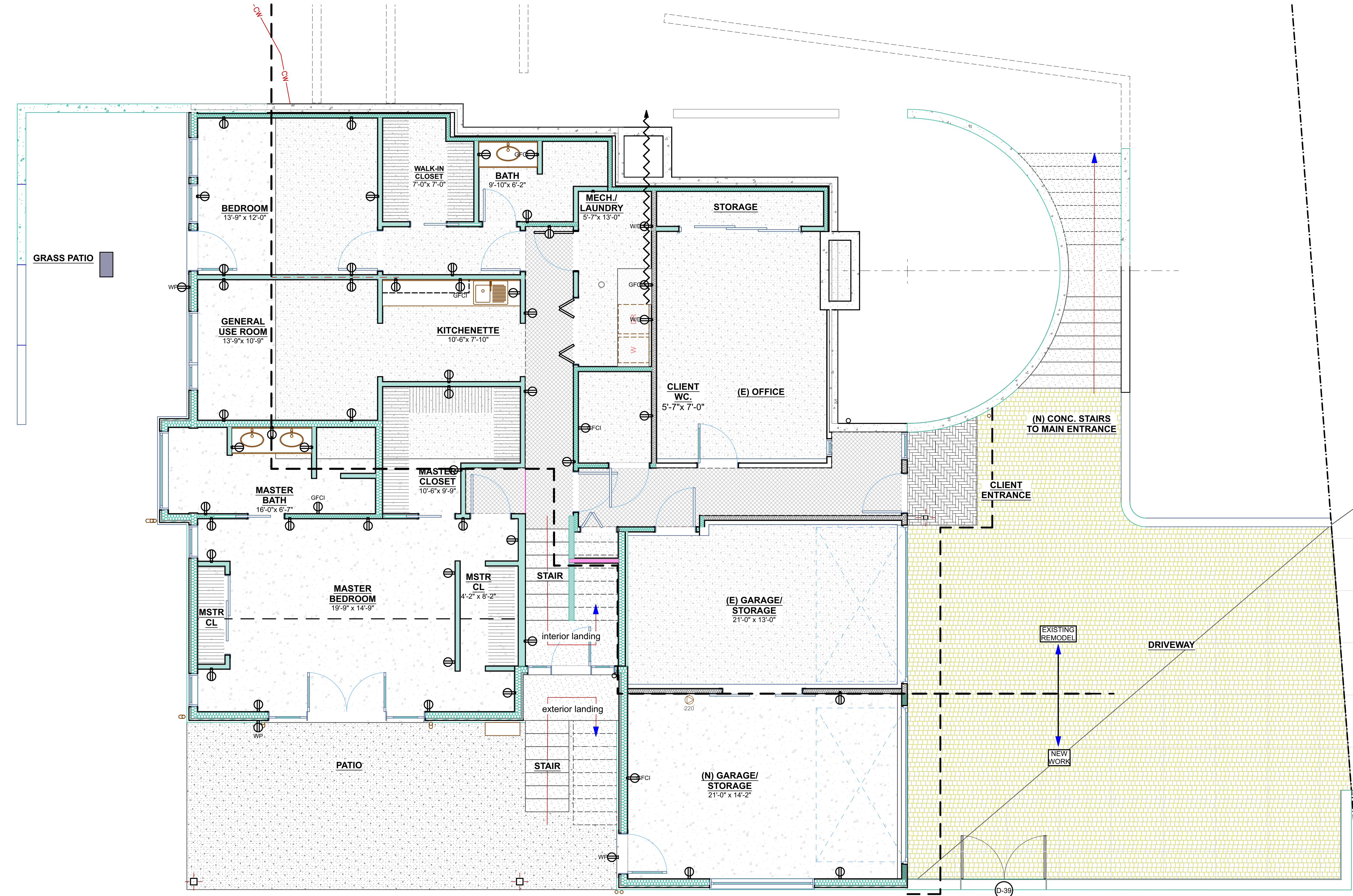
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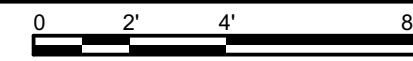
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**WALL
SECTIONS**

A-5.2



1 1ST FL POWER
SCALE: 1/4" = 1'-0"



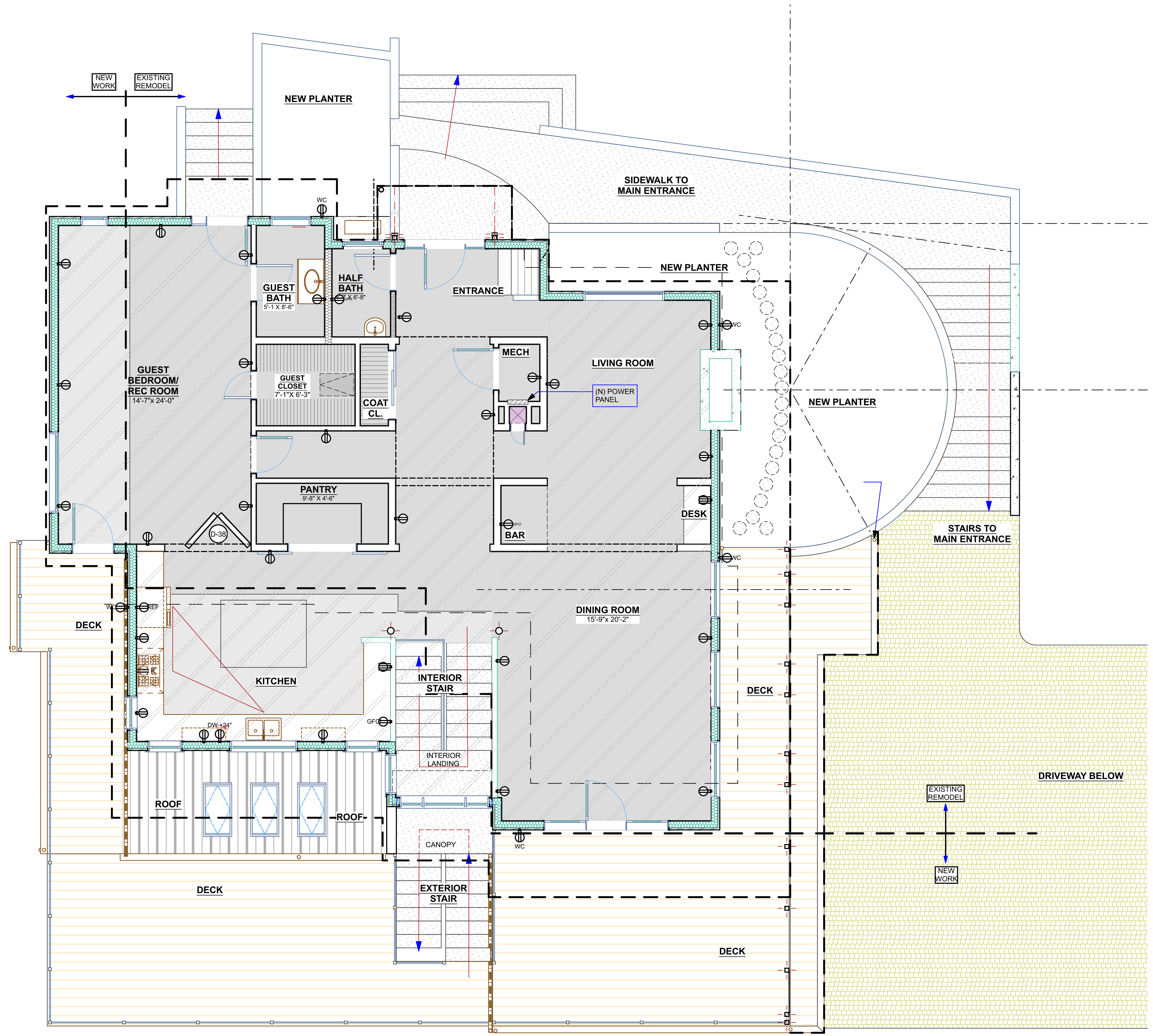
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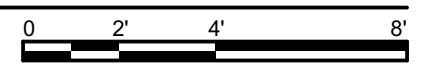
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1ST FLOOR
POWER PLAN

Sunday, January 30, 2022 8:49 PM



1 2ND FL POWER
 SCALE: 1/4" = 1'-0"



SMITH/CUTRIGHT
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2ND FLOOR POWER PLAN

**SMITH/CUTRIGHT
RESIDENCE ADDITION**

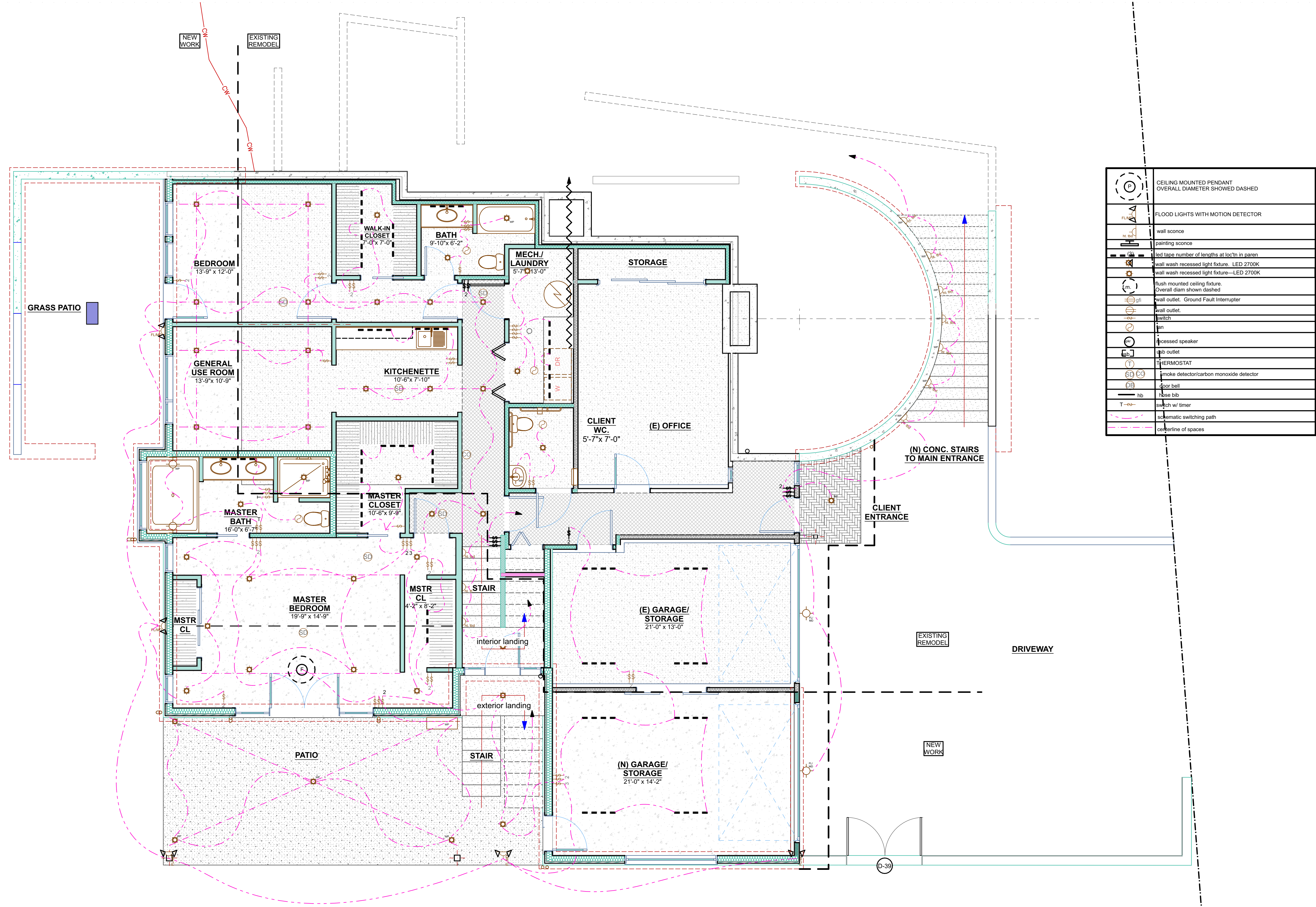
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**1ST FLOOR
LIGHTING PLAN**

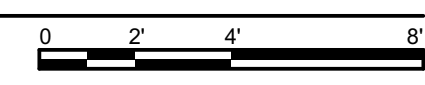
A-6.3



	CEILING MOUNTED PENDANT OVERALL DIAMETER SHOWN DASHED
	FLOOD LIGHTS WITH MOTION DETECTOR
	wall sconce
	painting sconce
	led tape number of lengths at loc'n in paren
	wall wash recessed light fixture - LED 2700K
	wall wash recessed light fixture - LED 2700K
	flush mounted ceiling fixture Overall diam shown dashed
	wall outlet - Ground Fault Interrupter
	wall outlet
	switch
	fan
	recessed speaker
	usb outlet
	THERMOSTAT
	smoke detector/carbon monoxide detector
	door bell
	hose bib
	switch w/ timer
	schematic switching path
	centerline of spaces

1 1ST FL LIGHTING

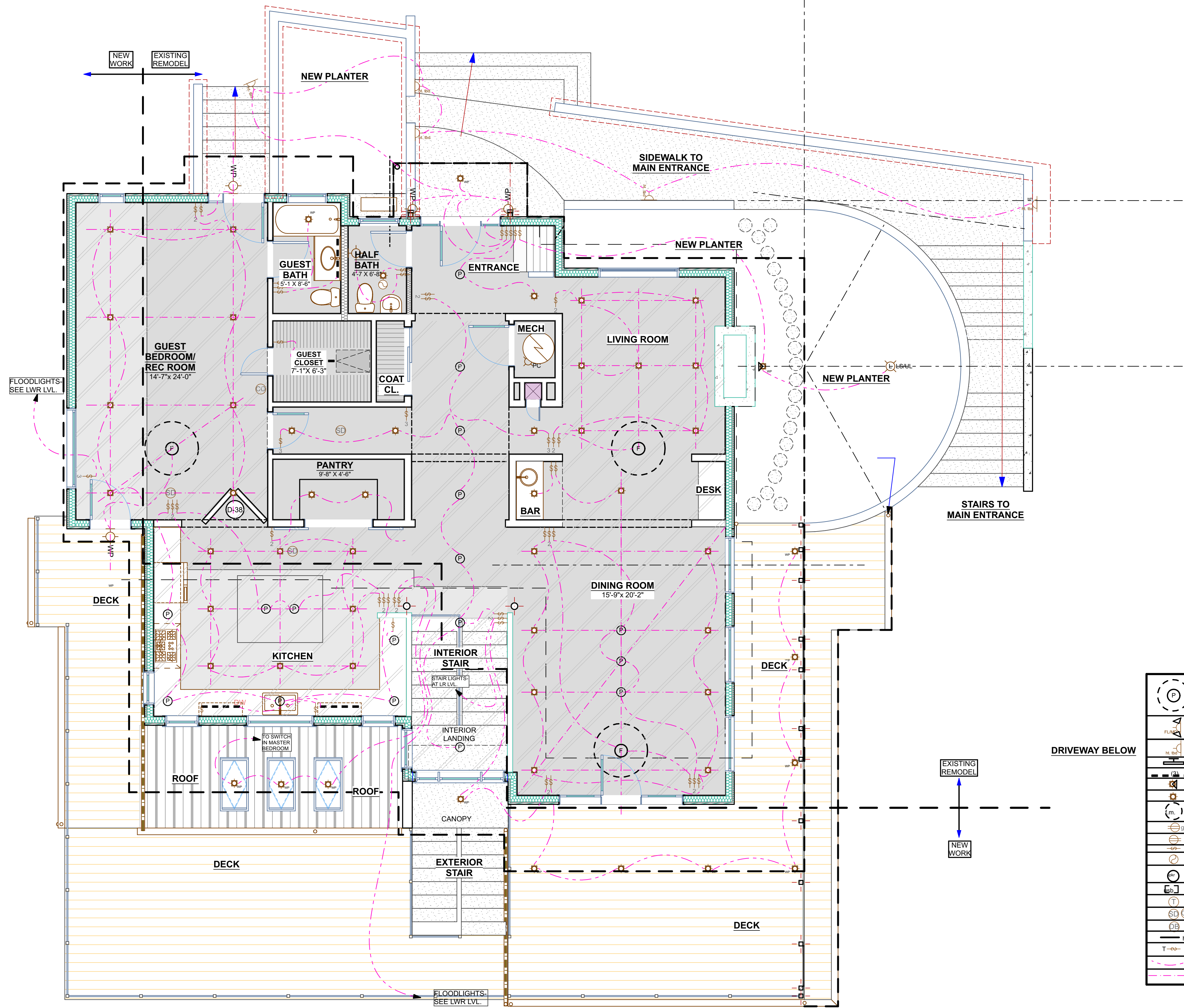
SCALE: 1/4" = 1'-0"



**SMITH/CUTRIGHT
RESIDENCE ADDITION**
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DRAWN BY: RF
ISSUES / REVISIONS
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**2ND FLOOR
LIGHTING PLAN**



1 2ND FL LIGHTING
SCALE: 1/4" = 1'-0"

Sunday, January 30, 2022 8:49 PM

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REVISIONS

1. 09-MAR-22

DATE: 18-OCT-21
 PROJECT NO: 21-028

S1.0

1 OF 8 SHEETS

ORIGINAL DRAWING SIZE 24x36

DRAWING INDEX

S1.0 STRUCTURAL NOTES & PROJECT INFORMATION
 S1.1 STRUCTURAL SCHEDULES & ABBREVIATIONS
 S2.1 BASEMENT FOUNDATION & FRAMING PLAN
 S2.2 MAIN FLOOR FOUNDATION & FRAMING PLAN
 S2.3 ROOF FRAMING PLAN
 S3.0 SECTIONS & DETAILS
 S3.1 SECTIONS & DETAILS
 S3.2 TYPICAL SECTIONS & DETAILS

ARCHITECT

WESTERN EDGE ARCHITECTURE & DESIGN
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 BAINBRIDGE ISLAND, WA 98110

CLIENT

LAURA SMITH & DAVID CUTRIGHT
 7655 SE 40TH STREET
 MERCER ISLAND, WA 98040

STRUCTURAL NOTES

GOVERNING DESIGN CODE

2018 INTERNATIONAL BUILDING CODE & WASHINGTON STATE AMENDMENTS.

DESIGN CRITERIA

- DESIGN LIVE AND SNOW LOADS FOR NEW CONSTRUCTION, UNLESS NOTED OTHERWISE:
- LIVE LOADS:
 - ROOF 20 PSF MINIMUM ROOF LIVE LOAD (REDUCIBLE)
 - RESIDENTIAL FLOORS 40 PSF
 - DECKS 60 PSF
- SNOW LOADS:
 - ROOF SNOW LOAD, P_s: 25 PSF
 - GROUND SNOW LOAD, P_g: 30 PSF
 - FLAT ROOF SNOW LOAD, P_f: 23.1 PSF
 - SNOW EXPOSURE 'C'
 - EXPOSURE FACTOR, C_e: 1.0
 - IMPORTANCE FACTOR, I: 1.0
 - THERMAL FACTOR, C_t: 1.1
- SUPERIMPOSED DEAD LOADS
 - ROOF: 15 PSF
 - FLOOR: 15 PSF
- WIND DESIGN DATA:
 - BASIC WIND SPEED 110 MPH
 - EXPOSURE 'C'
 - WIND DIRECTIONALITY FACTOR, K_d: 0.85
 - TOPOGRAPHIC FACTOR, K_z: 1.6
 - VELOCITY PRESSURE FACTOR, K_e: 0.65
- EARTHQUAKE DESIGN DATA:
 - SEISMIC DESIGN CATEGORY (SDC): D
 - SEISMIC RISK CATEGORY II
 - IMPORTANCE FACTOR, I: 1.0
 - BASIC SEISMIC-FORCE RESISTING SYSTEMS(S)
 - BEARING WALL SYSTEM - LIGHT FRAME WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE.
 - SOIL SITE CLASS D
 - MAPPED RESPONSE ACCELERATIONS; S_s: 1.42, S_v: 0.49. SPECTRAL RESPONSE COEFFICIENTS; S_{DS}: 0.95, S_{DI}: N/A
 - SEISMIC RESPONSE COEFFICIENT(S); C_s: 0.145
 - RESPONSE MODIFICATION FACTOR(S); R: 6.5

CONCRETE REINFORCING STEEL

- REINFORCING STEEL (TYPICAL, UNLESS NOTED OTHERWISE): ASTM A 615, GRADE 60.
- DETAIL, FABRICATE AND PLACE REINFORCING ACCORDING TO ACI 315, 'DETAILS AND DETAILING OF CONCRETE REINFORCEMENT'.
- TYPICAL REINFORCING (MINIMUM, UNLESS NOTED OTHERWISE ON DRAWINGS):
 - CORNERS AND INTERSECTIONS OF WALLS AND FOUNDATIONS: CORNER BARS EQUAL IN SIZE AND NUMBER TO HORIZONTAL REINFORCING. LEG LENGTH: 48 BAR DIAMETERS (2'-0" MINIMUM).
- DO NOT FIELD BEND, DISPLACE, WELD, HEAT OR CUT REINFORCING UNLESS INDICATED ON THE DRAWINGS, OR APPROVED BY ENGINEER OF RECORD.
- PLACE ELECTRICAL CONDUIT NEAR CENTER OF ELEVATED SLAB.
- SPLAY REINFORCING AROUND SLAB OPENINGS WITH 1" IN 10' SPLAY, UNLESS NOTED OTHERWISE.
- MINIMUM COVER FROM CONCRETE SURFACES TO REINFORCING:
 - 3 ± 1/2" TO BOTTOM OF FOOTING, 2" ± 1/4" TO EARTH FACE OF WALL, 1" ± 1/4" TO INSIDE FACE OF WALL, & 3/4" SLAB TO TOP & BOT SURFACES. CENTER OF SLABS-ON-GRADE
- REINFORCING LAP SPLICES: CONFORM WITH ACI 318 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE', 2-FEET, UNLESS NOTED OTHERWISE ON DRAWINGS.

CAST-IN-PLACE CONCRETE

- PROVIDE CONCRETE MATERIALS, FORM WORK, MIXING, PLACING AND CURING ACCORDING TO ACI 301, "STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE".
- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH 2015 IBC SECTION 1905, 1906 & ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF F_c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS.
- ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494 & C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-24 SECTION 19.3.2 AND THE 2015 IBC EXPOSED CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI. NO SPECIAL INSPECTION IS REQUIRED FOR 3,000 PSI INSTALLED SOLELY TO SATISFY EXPOSED CONCRETE REQUIREMENTS.

ANCHORS IN CONCRETE

- CAST-IN-PLACE ANCHORS SHALL BE ACCURATELY AND SECURELY PLACED.
 - ANCHOR BOLTS: BOLTS WITH ROLLED THREADS, ANCHOR BOLT NUTS: CONFORM WITH ASTM A194, ASTM A307 MATERIAL HOT-DIPPED GALVANIZED ACCORDING TO ASTM A153.
 - UNLESS NOTED OTHERWISE ON PLANS PROVIDE 3/8" Ø x 7" EMBEDMENT WITH 1/2" x 3" SQ PL WASHERS AT MAXIMUM 72" ON-CENTER SPACING AT FOUNDATION SILL PLATES. SIMPSON STRONG-TIE MASA OR MASAP MUDSILL ANCHORS MY BE USED IN-LIEU-OF ANCHOR BOLTS AND PLATE WASHERS. SEE SHEARWALL SCHEDULE FOR SPACING.
- INSTALL POST-INSTALLED ANCHORS WITH SPECIAL INSPECTION ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - MECHANICAL ANCHORS: ICC-APPROVED, CONFORM WITH FF-S-325, GROUP II, TYPE 4, CLASS 1. MATERIAL: (ZINC PLATED ACCORDING TO ASTM B 633, HOT-DIPPED GALVANIZED ACCORDING TO ASTM A 153, OR AISI 304 STAINLESS STEEL). UNLESS NOTED OTHERWISE ON PLANS EMBED MECHANICAL ANCHORS 4" MINIMUM INTO CONCRETE.
 - ACCEPTABLE ANCHORS: "KWIK-BOLT T.Z.", BY HILTI FASTENING SYSTEMS, INC. "STRONG BOLT 2" BY SIMPSON STRONG-TIE COMPANY, INC.
 - ADHESIVE ANCHORS (CONCRETE): ICC APPROVED. ANCHOR COMPONENTS: ALL-THREAD ROD, NUT, WASHER AND ADHESIVE INJECTION GEL SYSTEM. ANCHOR RODS: RODS WITH ROLLED THREADS. ANCHOR ROD NUTS: CONFORM WITH ASTM A 194. ASTM A 36 MATERIAL HOT-DIPPED GALVANIZED ACCORDING TO ASTM A 153.
 - ACCEPTABLE ADHESIVE INJECTION GEL SYSTEMS:
 - "SET-3G", BY SIMPSON STRONG-TIE COMPANY, INC.

FRAMING LUMBER

- LUMBER SPECIES: DOUGLAS FIR-LARCH GRADE LUMBER ACCORDING TO RULES OF WEST COAST LUMBER INSPECTION BUREAU (WCLIB).
- LUMBER GRADES:

• EXTERIOR WALL STUDS	NO. 2
• INTERIOR BEARING WALL STUDS	NO. 2
• JOISTS	NO. 1
• BEAMS	NO. 1
• POSTS	NO. 1
• BLOCKING, PLATES, BRIDGING	STANDARD OR BETTER OR STUD GRADE
- MAXIMUM MOISTURE CONTENT: 19% AT 3x OR LESS (LEAST DIMENSIONS) MEMBERS.
- PROVIDE SOLID BLOCKING (SAME DEPTH OF MEMBER) AT ALL POINTS OF BEARING (MAXIMUM SPACING OF 8'-0" ON-CENTER), AT JOISTS WITH A 5:1 OR GREATER DEPTH-TO-THICKNESS RATIO OR WHERE ONE EDGE OF JOIST IS NOT ATTACHED TO SHEATHING, WALLBOARD, BRACING, ETC.
- MEMBER DIMENSIONS INDICATED ARE STANDARD NOMINAL UNLESS NOTED OTHERWISE.
- WOOD IN CONTACT WITH CONCRETE OR MASONRY ACCORDING TO AWPA STANDARD C-2. LABEL PRESERVATIVE-TREATED LUMBER WITH THE AWPA (AMERICAN WOOD PRESERVERS BUREAU) QUALITY MARK.
- PROVIDE BLOCKING BETWEEN STUDS (OR OTHER MEANS OF BRACING) AT WOOD BEARING WALLS TO PREVENT STUD BUCKLING PRIOR TO INSTALLATION OF GYPSUM WALLBOARD.
- DOUBLE ALL FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS.
- SEE SCHEDULE AND DRAWINGS FOR FASTENING.

GLUE LAMINATED MEMBERS

- MEMBER SPECIES: WESTERN; MEMBER GRADE: SIMPLE SPANS: 24F-V4; CONTINUOUS OR CANTILEVERED SPANS: 24F-V8.
- MATERIAL STANDARDS: ALLOWABLE STRESSES: A1C 117. ARCHITECTURAL APPEARANCE GRADE: A1C 110-2001. MANUFACTURE AND FABRICATION: A1C A190.1. FABRICATE WITH WATERPROOF GLUES. SHAPE TOP OF MEMBERS TO ROOF SLOPE. ADD LAMINATIONS AS REQUIRED FOR SHAPING. PROVIDE STANDARD 3500 FOOT RADIUS CAMBER, UNLESS NOTED OTHERWISE ON DRAWINGS. IDENTIFY MEMBERS WITH THE APA-EWS MARK OF AMERICAN WOOD SYSTEMS OR MEMBER INSPECTION IS REQUIRED BY AN INDEPENDENT TESTING LAB. ERECT MEMBERS ACCORDING TO A1C SPECIFICATIONS.

PLYWOOD SHEATHING

- PLYWOOD MATERIAL: GRADE: C-D, UNLESS NOTED OTHERWISE. MANUFACTURED WITH EXTERIOR GLUE ACCORDING TO UNITED STATES PRODUCT STANDARD PS 1-83/ANSI AL 99.1. CONFORM WITH APA PRODUCT STANDARD PS 1-07. SHALL BEAR THE AMERICAN PLYWOOD ASSOCIATION (APA) TRADEMARK. SUBSTITUTION OF ORIENTED STRAND BOARD (OSB) FOR PLYWOOD IS ACCEPTABLE IF THE OSB CONFORMS WITH APA PS 2-04, GRADE 2-M-W. MANUFACTURED WITH EXTERIOR GLUE. LOAD/SPAN RATING INDEX EQUAL TO PLYWOOD. BEARS THE APA TRADEMARK.
- PROVIDE PRESSURE-TREATED PLYWOOD WHERE INDICATED ON DRAWINGS. CONFORM WITH AWPA STANDARD C-9. MARK SHEETS WITH AWPB
 - SHEATHING TYPES:
 - ROOF SHEATHING: 15/32" INDEX 3/16
 - FLOOR: 3/4" INDEX 5/16 T&G MINIMUM.
 - WALLS: 1/2" INDEX 3/16
- PLYWOOD LAYOUT AND INSTALLATION: LAY OUT PLYWOOD SHEATHING WITH END JOINTS STAGGERED, UNLESS NOTED OTHERWISE. LAY OUT PLYWOOD TO ELIMINATE WIDTHS LESS THAN 2'-0" UNLESS ALL EDGES OF UNDERSIZED PIECES ARE SUPPORTED BY BLOCKING. PROVIDE PANEL SPACING ACCORDING TO APA RECOMMENDATIONS. BLOCK SHEAR WALL SHEATHING WITH 2x4 FLAT BLOCKING AT ALL EDGES. FASTEN ACCORDING TO SCHEDULE AND DRAWINGS.
- PROTECT FLOOR AND ROOF SHEATHING FROM EXTREME WET CONDITIONS.

ENGINEERED WOOD PRODUCTS

- CONFORM WITH ALL APPLICABLE PROVISIONS OF THE IBC.
- WOOD PRODUCT MANUFACTURER: TRUS JOIST, A WEYERHAEUSER BUSINESS, OR APPROVED.
- TJI SERIES JOISTS:
 - FURNISH ALL END AND INTERMEDIATE STIFFENERS, BLOCKING AND/OR SHEAR PANELS, METAL BRIDGING ASSEMBLIES AND HANGERS, AS REQUIRED TO PROVIDE A COMPLETE FLOOR OR ROOF STRUCTURAL SYSTEM. TOP AND BOTTOM CHORDS OF TJI JOISTS SHALL BE MANUFACTURED FROM LVL MATERIAL AND SHALL BE EQUAL TO OR GREATER DIMENSION THAN THE TRUS JOIST. A WEYERHAEUSER BUSINESS SERIES INDICTED ON THE DRAWINGS. DEPTH(S) OF JOIST(S) OR JOIST(S) SPACING MAY NOT BE CHANGED WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- PARALLEL STRAND LUMBER "PSL".
 - BEAM, HEADER, BLOCKING: 2.0E GRADE OTHERWISE NOTED ON PLANS
- LAMINATED STRAND LUMBER "LSL".
 - RIM BOARD: 1 1/2" WIDE, 1.3E GRADE OTHERWISE NOTED ON PLANS.
 - BEAM, HEADER, BLOCKING: 1.5E GRADE OTHERWISE NOTED ON PLANS.
 - STUDS: 1 1/2" WIDE, 1.5E GRADE.
 - FOUNDATION SILL PLATES: STRANDGUARD 1.3E GRADE
- SLOPED BEARING REQUIREMENTS: JOIST SUPPLIER AND CONTRACTOR TO COORDINATE.
- DOUBLE ALL JOISTS UNDER MECHANICAL UNITS, UNLESS NOTED OTHERWISE.
- DO NOT NOTCH OR DRILL STRUCTURAL MEMBERS, EXCEPT AS APPROVED BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.

FASTENING AND CONNECTIONS

- PROVIDE THE MINIMUM NUMBER OF FASTENERS PER THE FASTENER SCHEDULE FOR WOOD MEMBERS, UNLESS NOTED OTHERWISE ON DRAWINGS.
- SIMPSON STRONG-TIE CONNECTORS IN CONTACT WITH PRESERVATIVE-TREATED WOOD, FIRE-RETARDANT-TREATED WOOD OR EXPOSED TO EXTERIOR SHALL BE ZMAX, HDG OR SST300. FOLLOW SIMPSON STRONG-TIE RECOMMENDATIONS FOR SELECTING CORROSION RESISTANT CONNECTORS.
- PROVIDE GRACE NYCORD DECK PROTECTOR IN-LIEU-OF CORROSION RESISTANT TREATMENTS FOR CONNECTORS IN CONTACT WITH PRESERVATIVE-TREATED WOOD, FIRE-RETARDANT-TREATED WOOD AT INTERIOR APPLICATIONS, UNLESS NOTED OTHERWISE ON PLANS.
- FASTENERS IN PRESERVATIVE-TREATED OR FIRE-RETARDANT-TREATED WOOD SHALL COMPLY WITH ASTM A153 AND SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- NAIL TYPE: COMMON OR SINKER, UNLESS NOTED OTHERWISE ON DRAWINGS.
- SEE FASTENER SCHEDULE FOR FASTENER SIZE AND LOCATION.

PLYWOOD SHEATHING CONNECTIONS

- ROOF SHEATHING
 - BLOCK ALL EDGES NOT SUPPORTED BY FRAMING MEMBERS WITH 2x4 FLATS, MIN.
 - FASTENING: ALL NAILS COMMON UNLESS NOTED OTHERWISE
 - AT EDGES OF EACH SHEET, BLOCKING & WALLS8D AT 6" OC
 - AT INTERIOR OF SHEETS8D AT 12" OC
 - AT BOUNDARIES OF ROOF8D AT 6" OC
- FLOOR SHEATHING
 - IMMEDIATELY PRIOR TO PLACING PANELS, APPLY A 1/2" DIAMETER CONTINUOUS BEAD OF CONSTRUCTION ADHESIVE, CONFORMING WITH AFG-01, TO TOPS OF ALL JOISTS, BLOCKING AND PLATES.
 - FASTENING: ALL NAILS COMMON UNLESS NOTED OTHERWISE. SIMPSON STRONG-TIE "QUICK DRIVE" WSNTL212S SCREWS MAY BE USED IN-LIEU-OF COMMON NAILS, AT SAME SPACING INDICATED BELOW.
 - AT EDGES OF EACH SHEET, BLOCKING & WALLS10D AT 6" OC
 - AT INTERIOR OF SHEETS10D AT 10" OC
 - AT BOUNDARIES OF FLOOR10D AT 6" OC
- WALL SHEATHING
 - BLOCK ALL EDGES NOT SUPPORTED BY FRAMING MEMBERS WITH 2x4 FLATS, MIN.
 - FASTENING: ALL NAILS COMMON UNLESS NOTED OTHERWISE
 - AT EDGES OF EACH SHEET, BLOCKING & WALLS8D AT 6" OC
 - AT INTERIOR OF SHEETS8D AT 12" OC
 - AT BOUNDARIES OF ROOF8D AT 6" OC

DIGITAL SIGNATURE

1

MARK	WALL SHEATHING	FASTENING ²		FOUNDATION SILL PLATE		SILL PLATE FASTENERS	TOP PLATE FASTENERS
		PANEL EDGE ³	INTERMEDIATE SUPPORT	SIZE	FASTENER		
A	7/8" SHTG	8d @ 6" OC	8d @ 12" OC	2x	5/8" @ 60" OC OR SIMP MASA/MASAP @ 40" OC	16d @ 12" OC	SIMP LS50 @ 24" OC
B	7/8" SHTG	8d @ 4" OC	8d @ 12" OC	2x	5/8" @ 48" OC OR SIMP MASA/MASAP @ 24" OC	(2) 16d @ 12" OC	SIMP LS50 @ 16" OC
C	7/8" SHTG	8d @ 3" OC	8d @ 12" OC	3x	5/8" @ 36" OC OR SIMP MASA/MASAP @ 20" OC	(3) 16d @ 12" OC	SIMP LS70 @ 16" OC

NOTES:

- BLOCK ALL PANEL EDGES. SEE STRUCTURAL NOTES FOR SHTG REQUIREMENTS. SEE DETAIL 6/S3.2 FOR TYPICAL CONSTRUCTION.
- NAILS SHALL BE COMMON TYPE OR GALVANIZED BOX.
- PROVIDE EDGE NAILING AT ALL END STUDS, SILL PLATES, RIM BOARDS, AND TOP PLATES.
- STAGGER EDGE NAILING FOR FULL HEIGHT OF STUDS AT HOLD DOWN ANCHORS, DOOR JAMBS, AND WINDOW JAMBS.
- USE 3x STUDS OR DBL 2x STUDS FASTENED TOGETHER W/ (2) 10d NAILS @ 12" OC @ LOCATIONS RECEIVING EDGE NAILING FROM ABUTTING PANELS FOR SHEARWALL TYPE(S) B, & C AT ALL FRMG LEVELS.
- SILL PLATES AGAINST CONCRETE SHALL BE PRESERVATIVE-TREATED. SEE DETAIL 2/S3.2 FOR TYPICAL ANCHOR BOLT LAYOUT AND SILL PLATE NOTCHING REQUIREMENTS.
- PROVIDE ASTM A307 ANCHOR BOLTS WITH 7" MIN EMBEDMENT FOR FOUNDATION SILL PLATES AGAINST CONC. APPROVED MECHANICAL ANCHORS MAY BE USED IN-LIEU-OF ANCHOR BOLTS. SEE STRUCTURAL NOTES FOR APPROVED MECHANICAL ANCHORS. PROVIDE PL 1/4"x3" SQ GALVANIZED WASHERS AT EACH ANCHOR BOLT OR MECHANICAL ANCHOR. AT RETAINING WALL LOCATIONS ANCHOR BOLTS SHALL BE SPACED PER SW SCHED OR PER RW DETAIL, WHICHEVER IS MORE STRINGENT.
- PLACE WALL SHEATHING ON SAME SIDE OF WALL AS WHERE SHEARWALL MARK IS LOCATED OR ARROW POINTS.
- PROVIDE DOUG-FIR LARCH MEMBERS FOR ALL SHEARWALLS.
- PROVIDE MINIMUM TWO (2) STUDS AT END OF SHEARWALL UNO. SEE HOLDOWN SCHEDULE FOR ADD'L POST SIZE INFORMATION.

HOLDOWN & TENSION STRAP SCHEDULE

MARK	HOLDOWN OR ¹ TENSION STRAP	ANCHOR ROD ²	POST ³	FOOTING		CAPACITY (LBS)
				SIZE	REINFG	
1	HDU2-SDS2.5	5/8"x1'-0" EMBED	(2) 2x	N/A	N/A	3,075
2	HDU4-SDS2.5	5/8"x1'-3" EMBED	(2) 2x	N/A	N/A	4,565
S1	CS16x3'-0"	N/A	2x	N/A	N/A	1,705
S2	MSTC48B3	N/A	(2) 2x	N/A	N/A	3,975
S3	CMSTC16x4'-4"	N/A	(2) 2x	N/A	N/A	4,585

NOTES:

- PROVIDE SIMPSON STRONG-TIE OR EQUIVALENT. FOR EQUIVALENT HOLDOWN OR STRAP, SUBMIT TO ENGINEER OF RECORD FOR APPROVAL. INSTALL PER MANUFACTURER SPECIFICATIONS.
- PROVIDE ASTM A36 OR A307 THREADED ROD W/ PL 1/4"x3" SQ W/ DBL NUTS @ END. SIMPSON STRONG-TIE SSTB ANCHOR BOLTS MAY BE USED WITH WRITTEN APPROVAL OF ENGINEER OF RECORD.
- USE MINIMUM TWO STUDS AT END OF SHEARWALL. PROVIDE EDGE NAILING FOR FULL HEIGHT OF MULTIPLE STUDS OR POST AT TIE DOWN ANCHOR, DOOR AND WINDOW JAMBS.
- PLACE HD NO CLOSER THAN 6" TO FND VENT OR OTHER CONC STEM WALL OPNG'S.

1

ABBREVIATIONS

AB	ANCHOR BOLT	FOM	FACE OF MASONRY	OPNG	OPENING
ACI	AMERICAN CONCRETE INST.	FOS	FACE OF STEEL, STUD	OPP	OPPOSITE
ADD'L	ADDITIONAL	FS	FAR SIDE	PARA	PARALLEL
APPROX	APPROXIMATE	FTG	FOOTING	PCF	POUNDS PER CUBIC FOOT
ARCH	ARCHITECTURAL	GA	GAUGE	PEN	PANEL EDGE NAILING
AT	ATTIC TRUSS	GAT	GIRDER ATTIC TRUSS	PERP	PERPENDICULAR
BLDG	BUILDING	GT	GIRDER TRUSS	PL	PLATE
BLKG	BLOCKING	HD	HOLDOWN	PSF	POUNDS PER SQUARE FOOT
BM	BEAM	HDG	HOT DIPPED GALVANIZED	PSI	POUNDS PER SQUARE INCH
BRG	BEARING	HDR	HEADER	PT	PRESERVATIVE TREATED
BOT	BOTTOM	HGR	HANGER	REINF	REINFORCING
C	CHANNEL SECTION	HORIZ	HORIZONTAL	REQ'D	REQUIRED
C	CHANNEL SECTION	HSS	HOLLOW STRUCTURE STEEL	RW	RETAINING WALL
CJ	CONTROL JOINT	HT	HEIGHT OR HIP TRUSS	REV	REVISION
℄	CENTERLINE	IBC	INTERNATIONAL BUILDING CODE	SCHED	SCHEDULE
CLR	CLEAR	INFO	INFORMATION	SHTG	SHEETING, SHEATHING
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	SIM	SIMILAR
COL	COLUMN	JT	JOINT	SOG	SLAB-ON-GRADE
CONC	CONCRETE	L	ANGLE SECTION	SO	SQUARE
CONST	CONSTRUCTION	LONGIT	LONGITUDINAL	SS	STAINLESS STEEL
CONT	CONTINUOUS, CONTINUITY	LL	LIVE LOAD	STAG	STAGGER(ED)
CONST	CONSTRUCTION	LLH	LONG LEG HORIZONTAL	STD	STANDARD
CONT	CONTINUOUS, CONTINUITY	LLV	LONG LEG VERTICAL	STIFF	STIFFENER
∅	DIAMETER	LT	LIGHT	STL	STEEL
DIM	DIMENSION	MAX	MAXIMUM	STRUCT	STRUCTURAL
DL	DEAD LOAD	MB	MACHINE BOLT	SW	SHEARWALL
DT	DRAG TRUSS	MC	MISC CHANNEL SECTION	SYMM	SYMMETRICAL
EA	EACH	MANF	MANUFACTURED	T	MANUFACTURED WOOD TRUSS
EF	EACH FACE	MECH	MECHANICAL	T&B	TOP & BOTTOM
ELEV	ELEVATION	MEZZ	MEZZANINE	THRD	THREAD
EQ	EQUAL, EQUIVALENT	MIN	MINIMUM	TOC	TOP OF CONCRETE
ES	EACH SIDE	MISC	MISCELLANEOUS	TOS	TOP OF STEEL
EW	EACH WAY	NF	NEAR FACE	TYP	TYPICAL
(E)	EXISTING	NIC	NOT IN CONTRACT	UNO	UNLESS NOTED OTHERWISE
f'c	COMPRESSIVE STRENGTH OF CONCRETE, PSI	NO or #	NUMBER	VERT	VERTICAL
		NS	NEAR SIDE	W	WIDE FLANGE SECTION
FDN	FOUNDATION	NOM	NOMINAL	W/	WITH
FF	FAR FACE, FINISH FLOOR	NTS	NOT TO SCALE	W/O	WITHOUT
FLR	FLOOR	OC	ON-CENTER	WWF	WELDED WIRE FABRIC
FOC	FACE OF CONCRETE	OD	OUTSIDE DIAMETER		

FASTENER SCHEDULE

CONNECTION	FASTENING	LOCATION
JOIST TO SILL OR GIRDER	(3) 8D	TOE NAIL
BRIDGING TO JOIST	(2) 8D	TOE NAIL EACH END
SOLE PLATE TO JOIST OR BLKG	16D AT 16" OC	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLKG	(3) 16D AT 16" OC	SHEARWALL - FACE NAIL
TOP PLATE TO STUD	(2) 16D	END NAIL
STUD TO SOLE PLATE	(2) 16D	END NAIL
STUD TO 3x SOLE PLATE	(2) 20D	END NAIL
BUILT-UP CORNER STUDS	16D AT 12" OC	
MULTIPLE STUDS	16D AT 12" OC	FACE NAIL
DBL TOP PLATE	16D AT 16" OC	FACE NAIL
DBL TOP PLATE - LAP SPLICE	(8) 16D	FACE NAIL (EACH SIDE)
BLKG JOISTS OR RAFTERS TO TOP PLATE	(3) 8D	
RIM JOIST TO TOP PLATE	8D AT 6" OC	TOE NAIL
CONTINUOUS HEADER, TWO PIECES	16D AT 16" OC	ALONG EDGE
CEILING JOISTS TO PLATE	(3) 8D	TOE NAIL
CONTINUOUS HEADER TO STUD	(4) 8D	TOE NAIL
CEILING JOISTS, LAPS OVER PARTITIONS	(3) 16D	FACE NAIL
CEILING JOISTS .TO PARA RAFTERS	(3) 16D	FACE NAIL
RAFTER TO PLATE	(3) 8D COMMON	TOE NAIL
BUILT-UP GIRDER, FLR JOISTS, AND BEAMS	(2) 16D AT 12" OC CLINCHED	FACE NAIL AT TOP & BOT STAGGERED ON OPPOSITE SIDES EQUAL 6" OC
COLLAR TIE TO RAFTER	(3) 10D	FACE NAIL
JACK RAFTER TO HIP	(3) 10D	TOE NAIL
JACK RAFTER TO HIP	(2) 16D	FACE NAIL
ROOF RAFTER TO 2x RIDGE BM	(2) 16D	TOE NAIL
JOIST TO RIM JOIST	(3) 16D	FACE NAIL
LEDGER STRIP	(3) 16D	FACE NAIL

F# FOOTING SCHEDULE

MARK	SIZE	REINFORCING
F2.0	2'-0" SQx0'-10"	#4 @ 8" OC EW
F2.6	2'-6" SQx1'-0"	#4 @ 8" OC EW
F3.0	3'-0" SQx1'-0"	#4 @ 8" OC EW
F3.6	3'-6" SQx1'-0"	#4 @ 8" OC EW

SMITH-CUTRIGHT RESIDENCE ADDITION & REMODEL
7655 SE 40TH STREET
MERCER ISLAND, WA 98040
STRUCTURAL SCHEDULES & ABBREVIATIONS

PACIFIC NORTHWEST
STRUCTURAL GROUP, INC
 6193 NE MALBON CT.
 KINGSTON, WA 98346
 360.903.2803
 David@PNWStructure.com



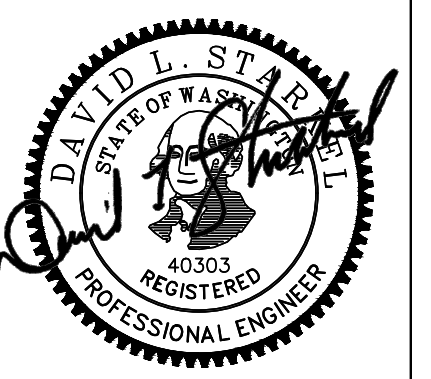
REVISIONS
 1 09-MAR-22

DATE: 18-OCT-21
 PROJECT NO: 21-028

S1.1
 2 OF 8 SHEETS

ORIGINAL DRAWING SIZE 24x36

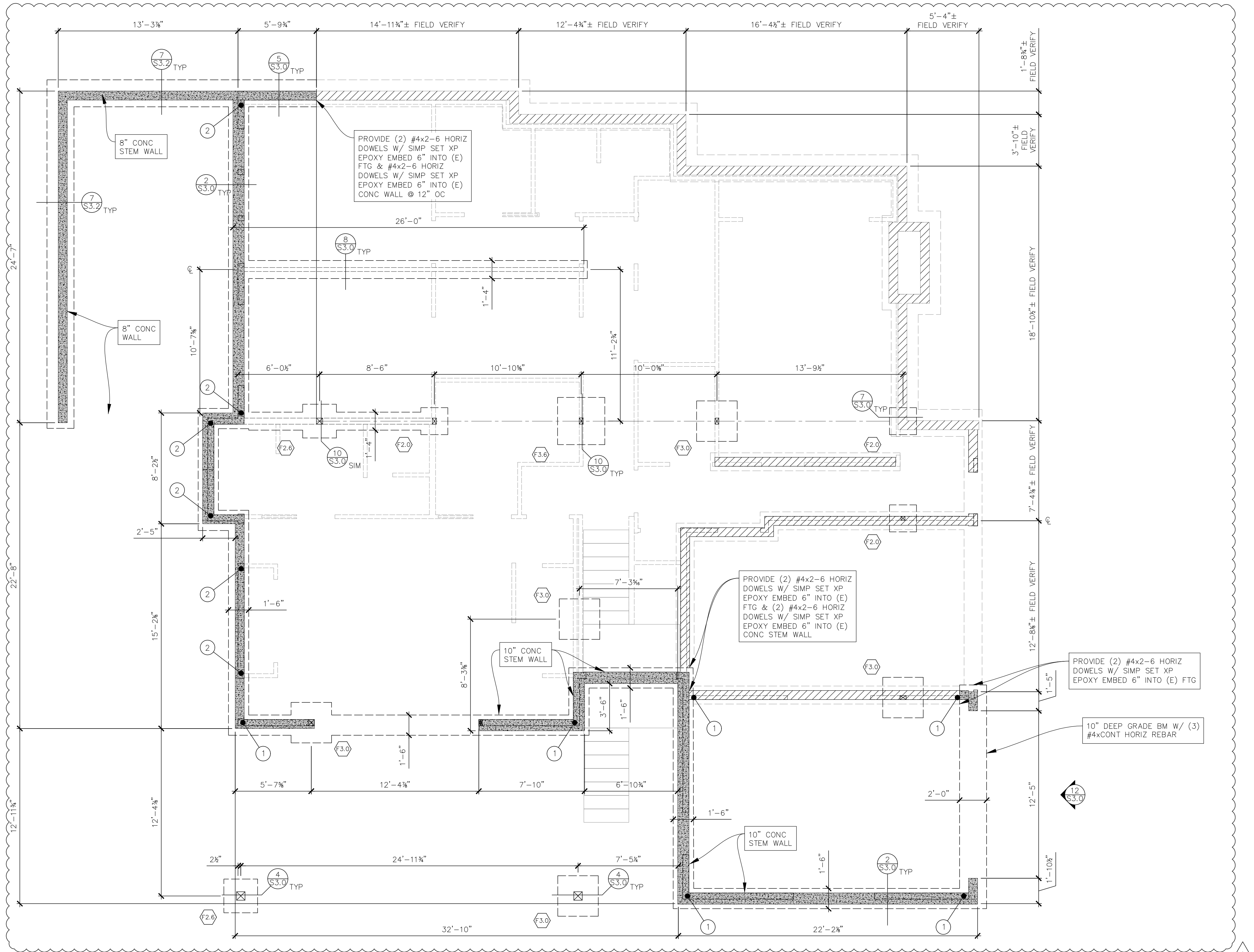
**SMITH-CUTRIGHT RESIDENCE ADDITION & REMODEL
7655 SE 40TH STREET
MERCER ISLAND, WA 98040
BASEMENT FOUNDATION & FRAMING PLAN**



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△	09-MAR-22

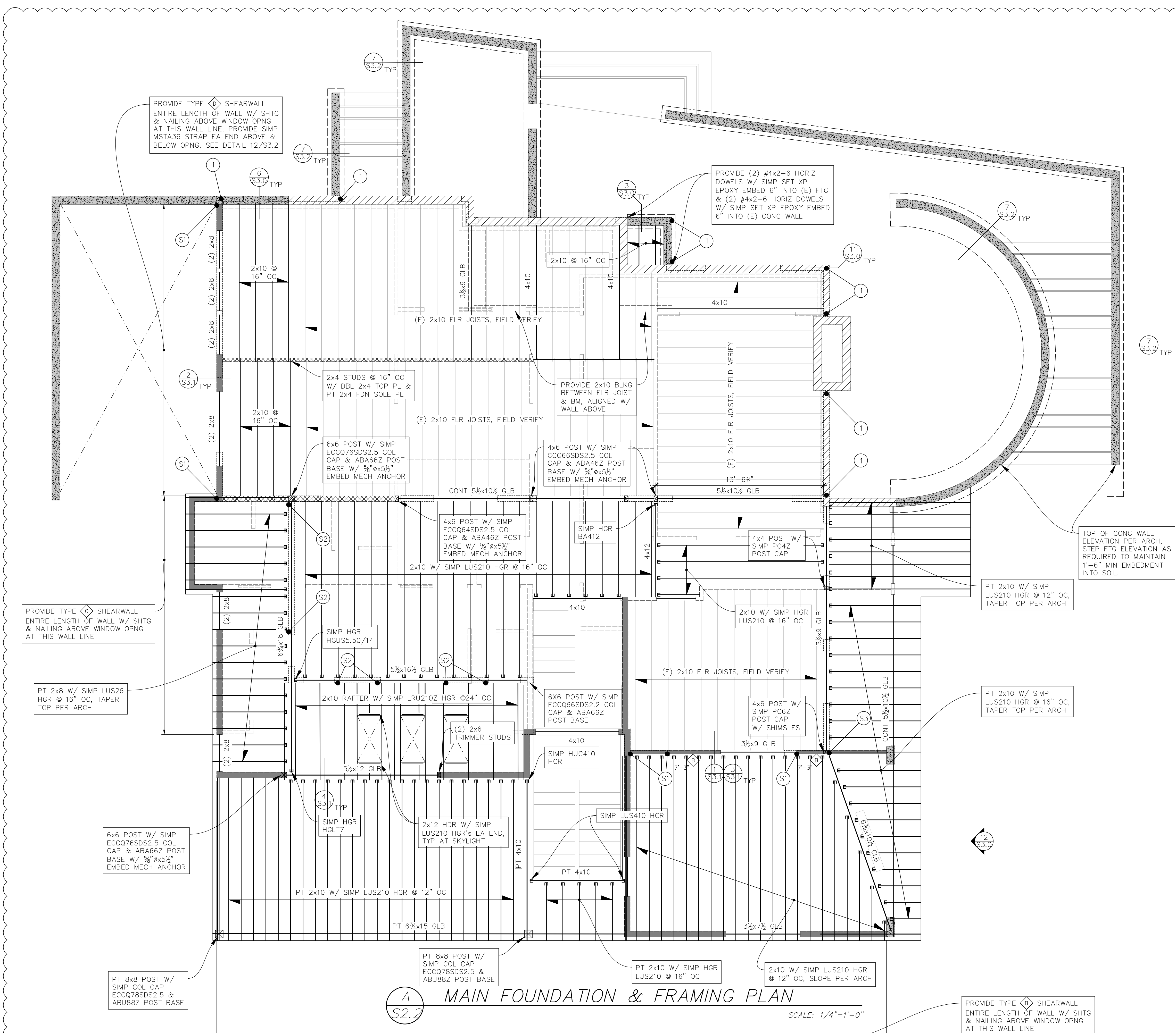
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PROJECT NO: 21-028

- FOUNDATION NOTES:**
- SEE SHEET S1.0 FOR STRUCTURAL NOTES.
 - SEE SHEET S1.1 FOR STRUCTURAL SCHEDULES.
 - SEE SHEET S2.2 FOR PLAN NOTES.
 - SEE SHEET S3.2 FOR TYPICAL DETAILS & SECTIONS.
 - BOTTOM OF EXTERIOR FOOTINGS TO BE A MINIMUM OF 1'-6" BELOW FINISH GRADE. STEP FOOTING AS SHOWN OR NEEDED.
 - ALL FOOTINGS MUST BEAR ON UNDISTURBED NATIVE SOILS OR ON APPROVED STRUCTURAL FILL THAT BEARS ON IN-PLACE NATIVE SOIL. CENTER FOOTINGS UNDER COLUMNS UNO.
 - INDICATES CONC WALL. PROVIDE #4xCONT HORIZ T&B, & #4xCONT HORIZ @ 18" OC WHERE STEM HT EXCEEDS 3'-0". PROVIDE #4 VERT DOWEL @ 48" OC. SEE DETAILS SHEET S3.0 FOR ADD'L INFO.
 - INDICATES (E) CONC WALL.
 - INDICATES FOOTING TYPE & LOCATION. SEE FOOTING SCHEDULE ON SHEET S1.1 FOR ADD'L INFORMATION.
 - INDICATES HOLDOWN TYPE & LOCATION. HOLDOWN OCCURS AT BOTTOM OF WALL SHOWN UNO. SEE HOLDOWN SCHEDULE ON SHEET S1.1 FOR ADD'L INFORMATION.



A **S2.1** **BASEMENT FOUNDATION & FRAMING PLAN**
SCALE: 1/4"=1'-0"

ORIGINAL DRAWING SIZE 24x36



PLAN NOTES:

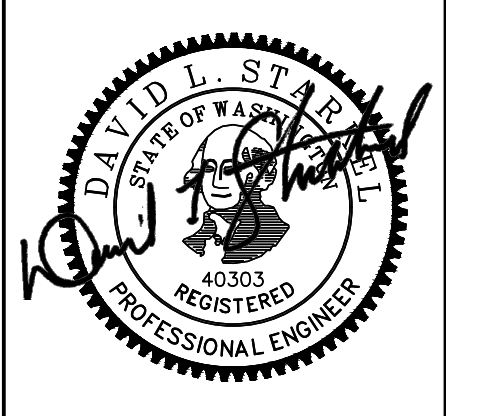
- SEE SHEET S1.0 FOR STRUCTURAL NOTES.
- SEE SHEET S1.1 FOR STRUCTURAL SCHEDULES.
- SEE SHEET S2.3 FOR ROOF NOTES.
- SEE SHEET S3.2 FOR TYPICAL DETAILS & SECTIONS.
- SHEARWALLS & HOLD-DOWNS SHOWN ON THIS PLAN ARE FOR THE WALLS SUPPORTING THE FRAMING.
- #-# INDICATES SHEAR WALL TYPE, LOCATION, & MIN. SHEAR WALL LENGTH SEE SHEARWALL SCHEDULE ON SHEET S1.1 FOR ADD'L INFORMATION. PROVIDE TYPE
- ◇ SHEAR WALL ENTIRE LENGTH OF WALL W/ SHTG & NAILING ABOVE & BELOW OPNG's, UNO.
- ▣ INDICATES INTERIOR BEARING WALL
- PROVIDE 2x6 STUDS @ 16" OC W/ DOUBLE TOP PL & SINGLE SOLE PL AT PERIMETER WALLS & INTERIOR BEARING WALLS UNO. STUDS SHALL BE WITHIN 4 1/2" C/F FRAMING MEMBER TO C/F OF CLOSEST ADJACENT STUD. ADD EXTRA STUDS AS REQ'D TO MEET THIS REQUIREMENT. LAP DOUBLE TOP PL SPLICES 4'-0" WITH TWO ROWS OF 16d NAILS AT 12" OC STAGGERED. USE ONE 2x TRIMMER STUD & ONE 2x KING STUD, TYP AT HEADERS, UNO.
-

A S2.2 MAIN FOUNDATION & FRAMING PLAN

SCALE: 1/4"=1'-0"

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SMITH-CUTRIGHT RESIDENCE ADDITION & REMODEL
7655 SE 40TH STREET
MERCER ISLAND, WA 98040
MAIN FLOOR FOUNDATION & FRAMING PLAN

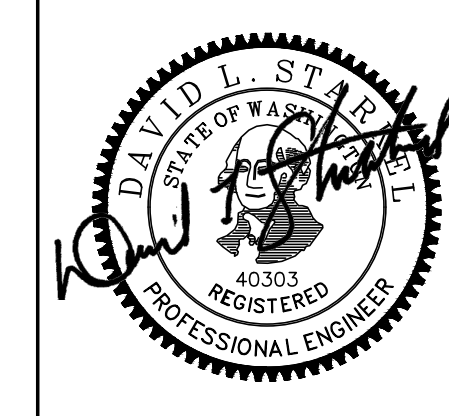


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SECTIONS & DETAILS



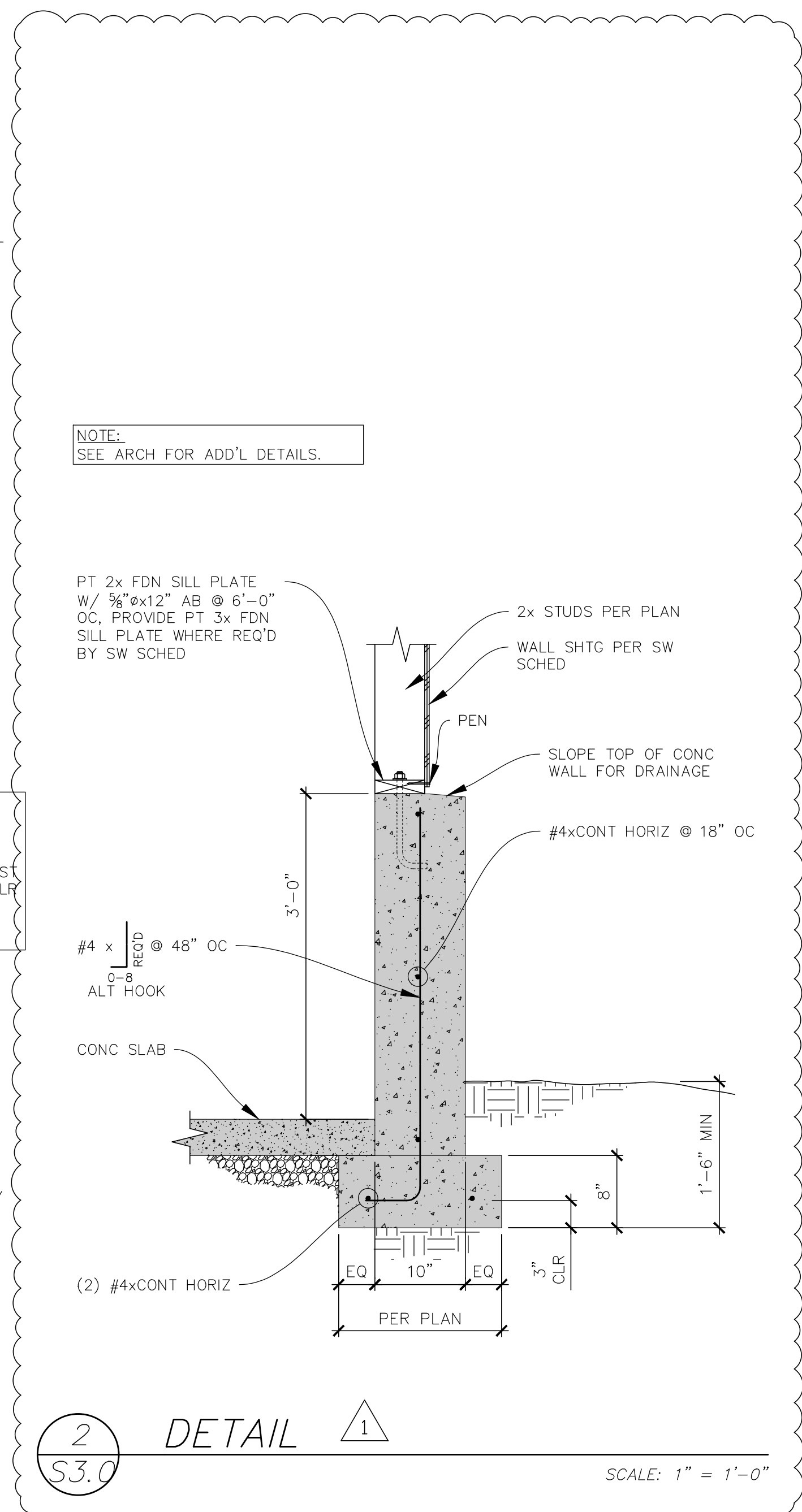
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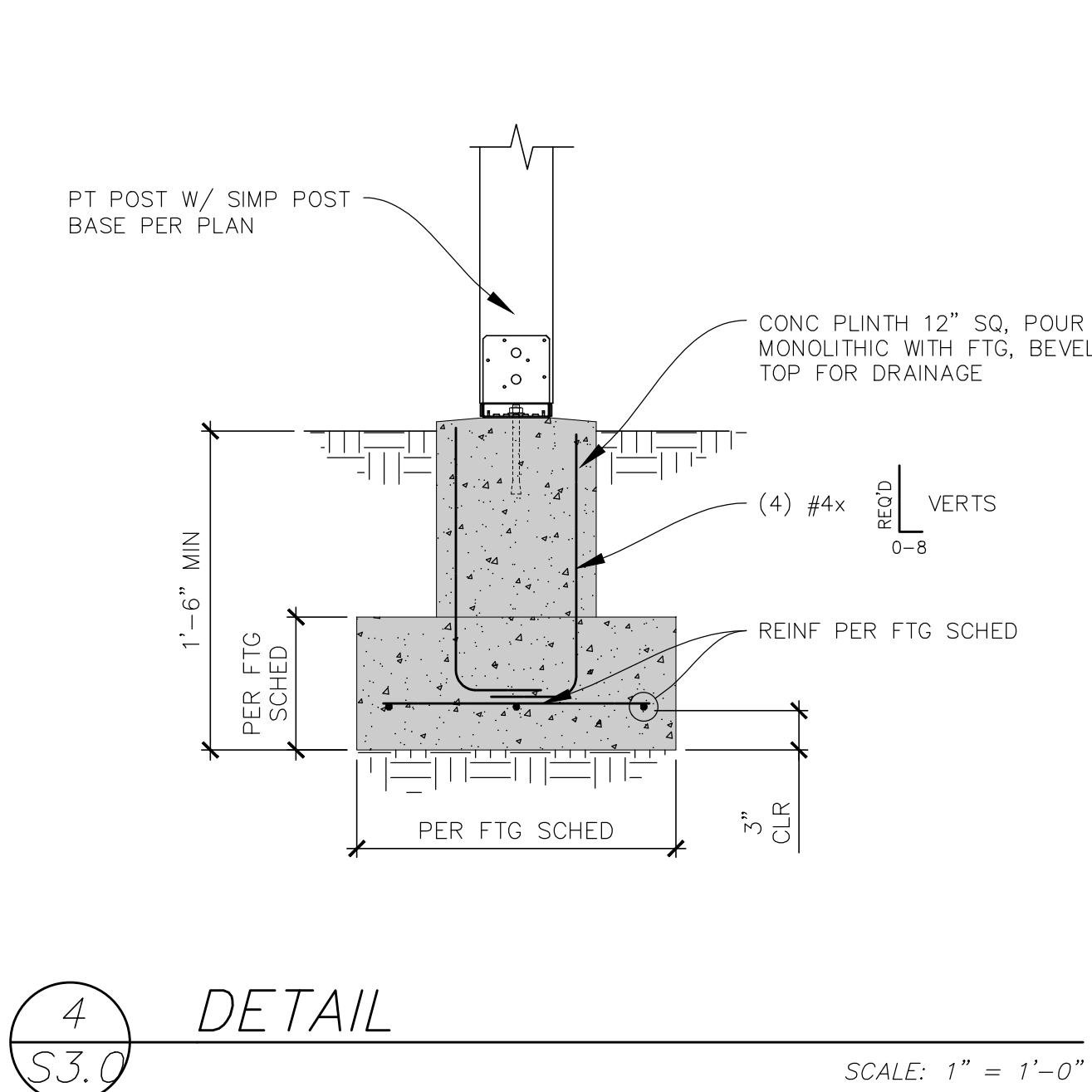
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S3.0
6 OF 8 SHEETS

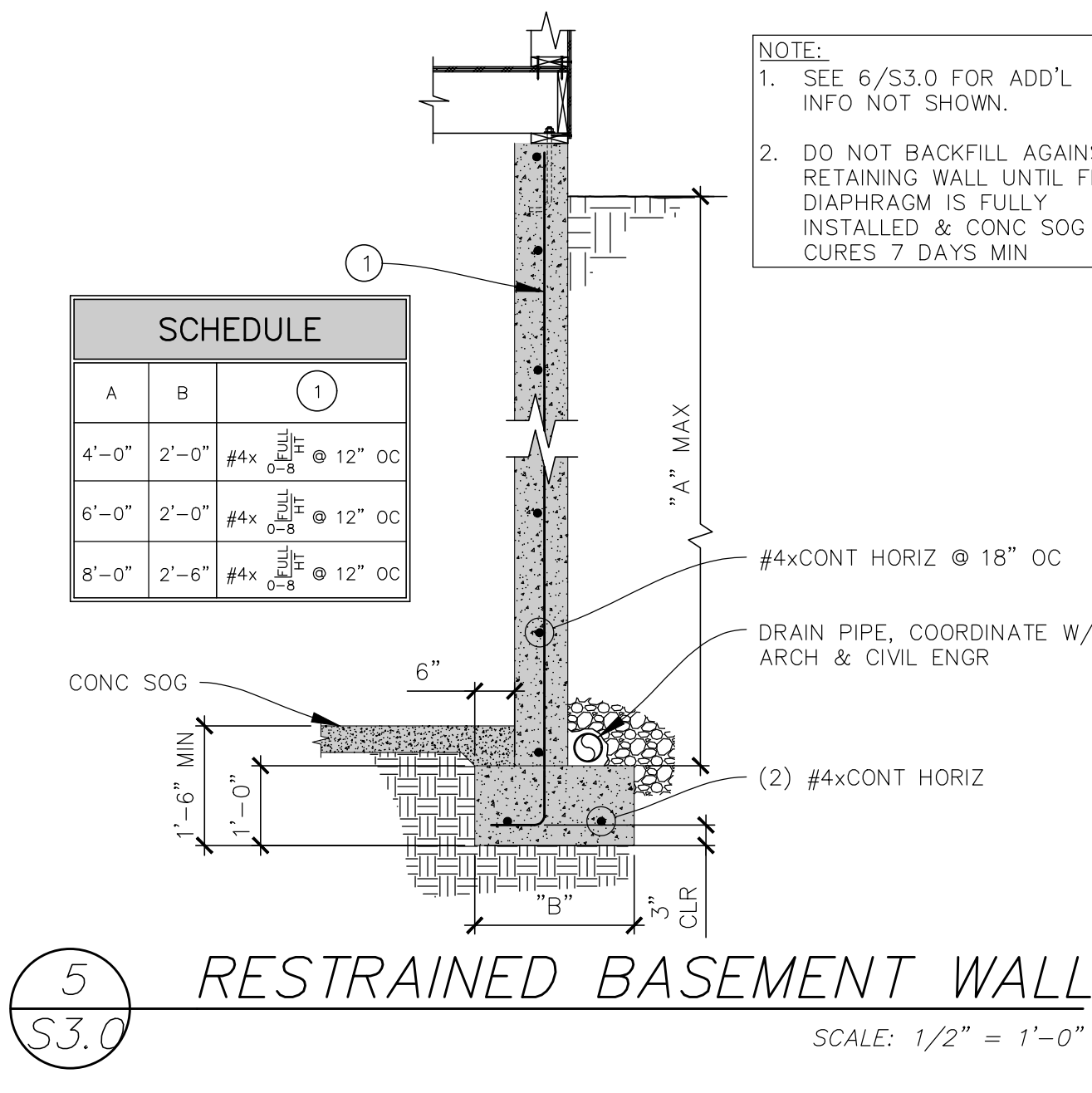
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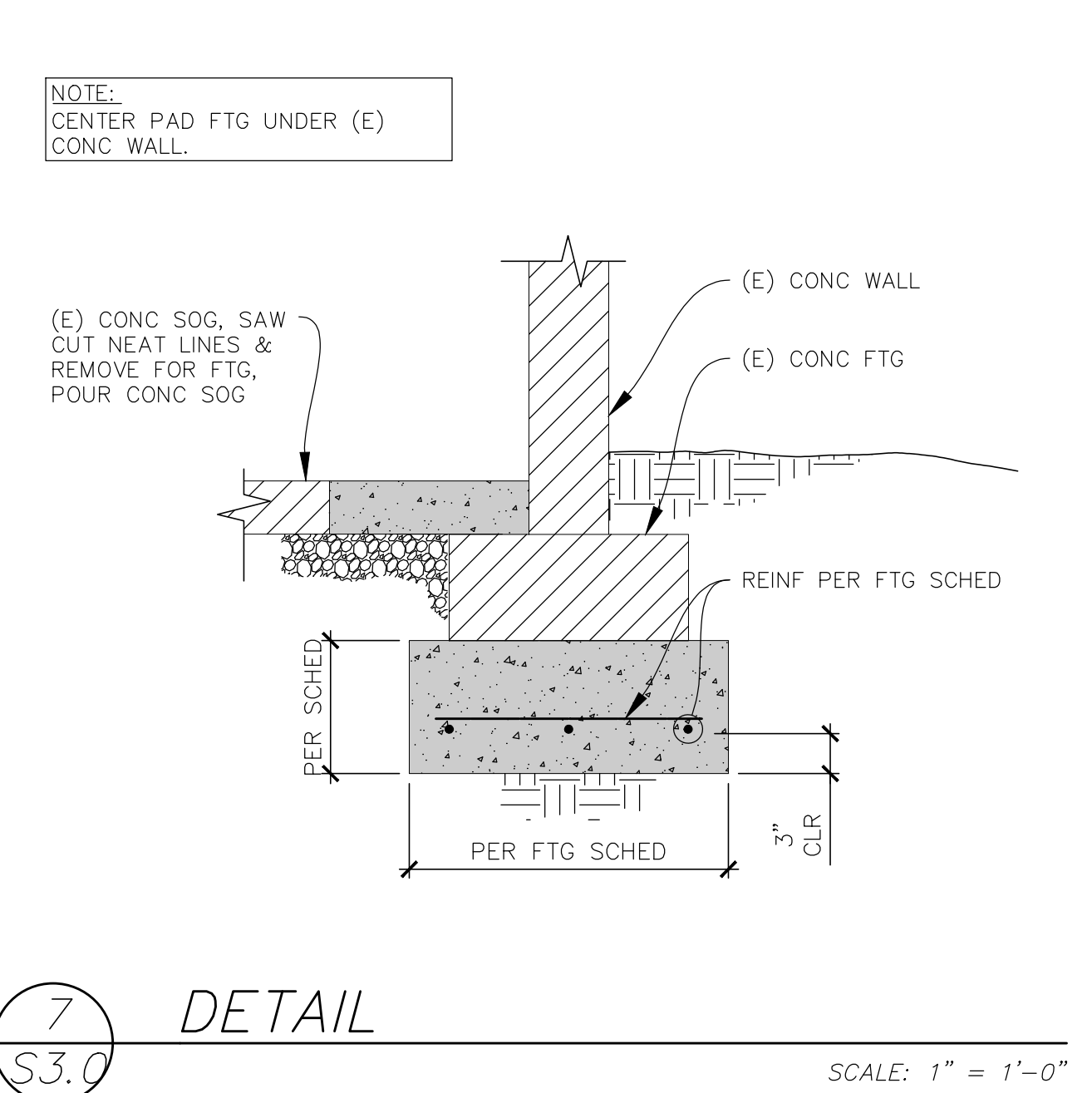
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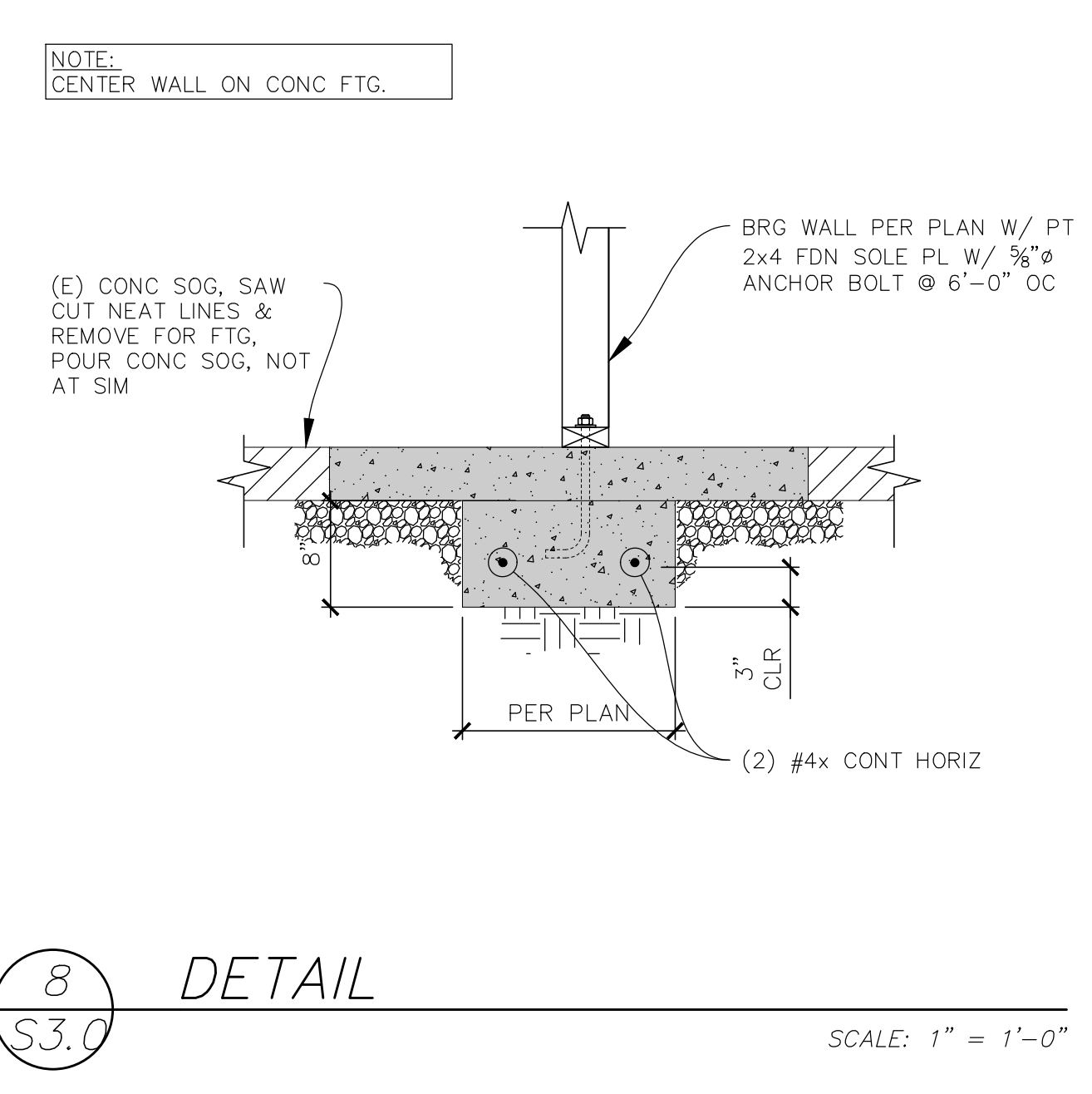
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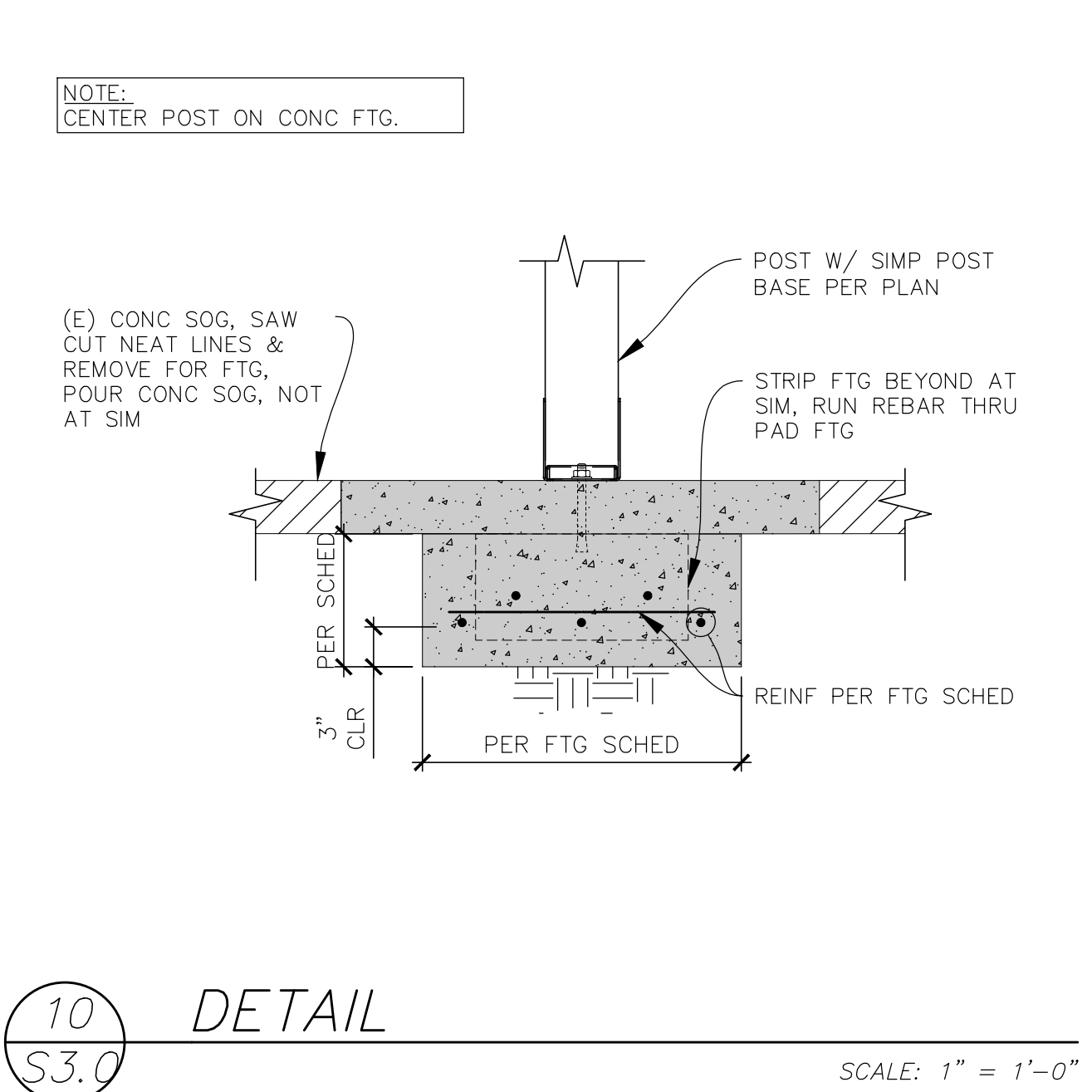
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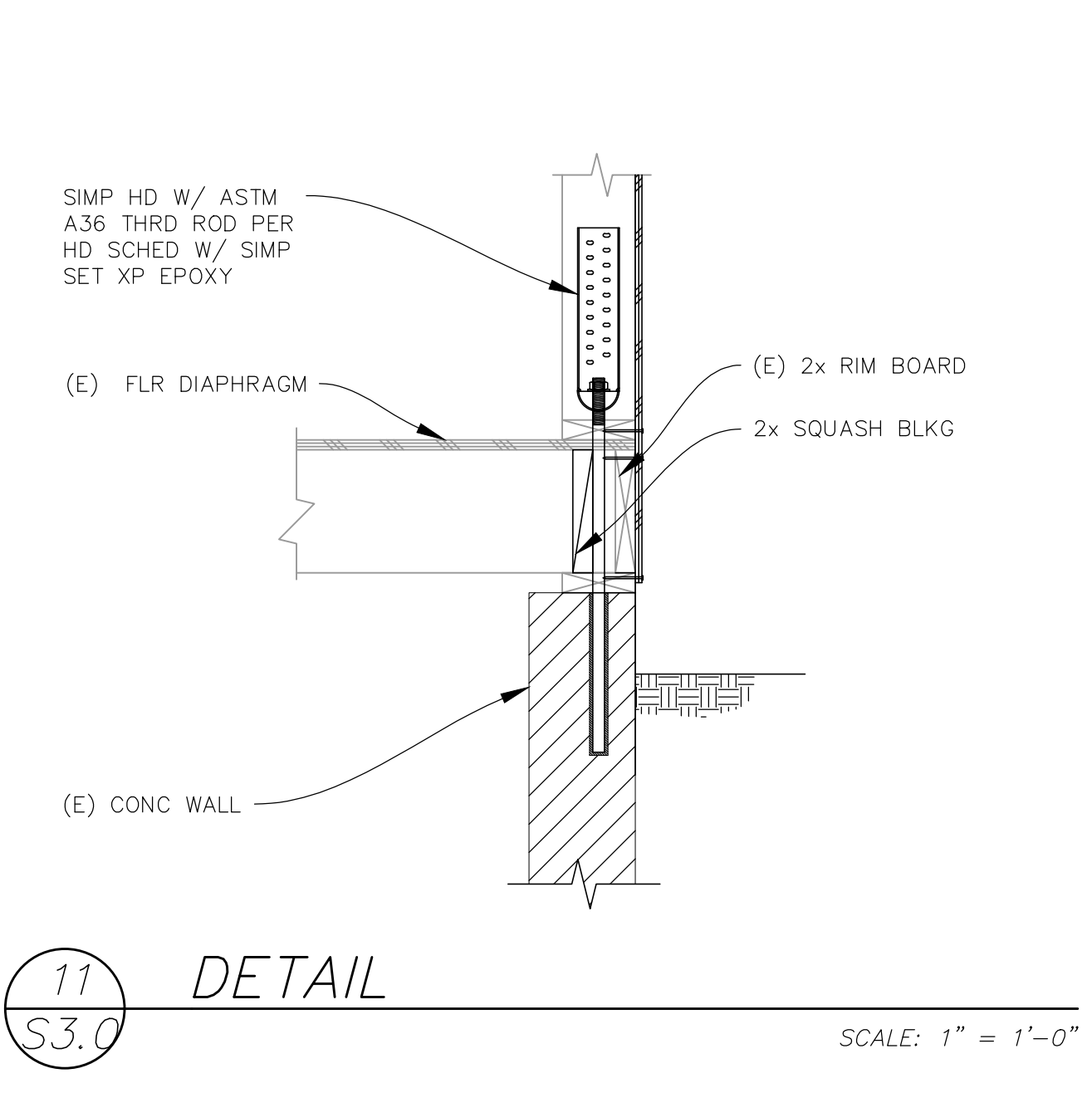
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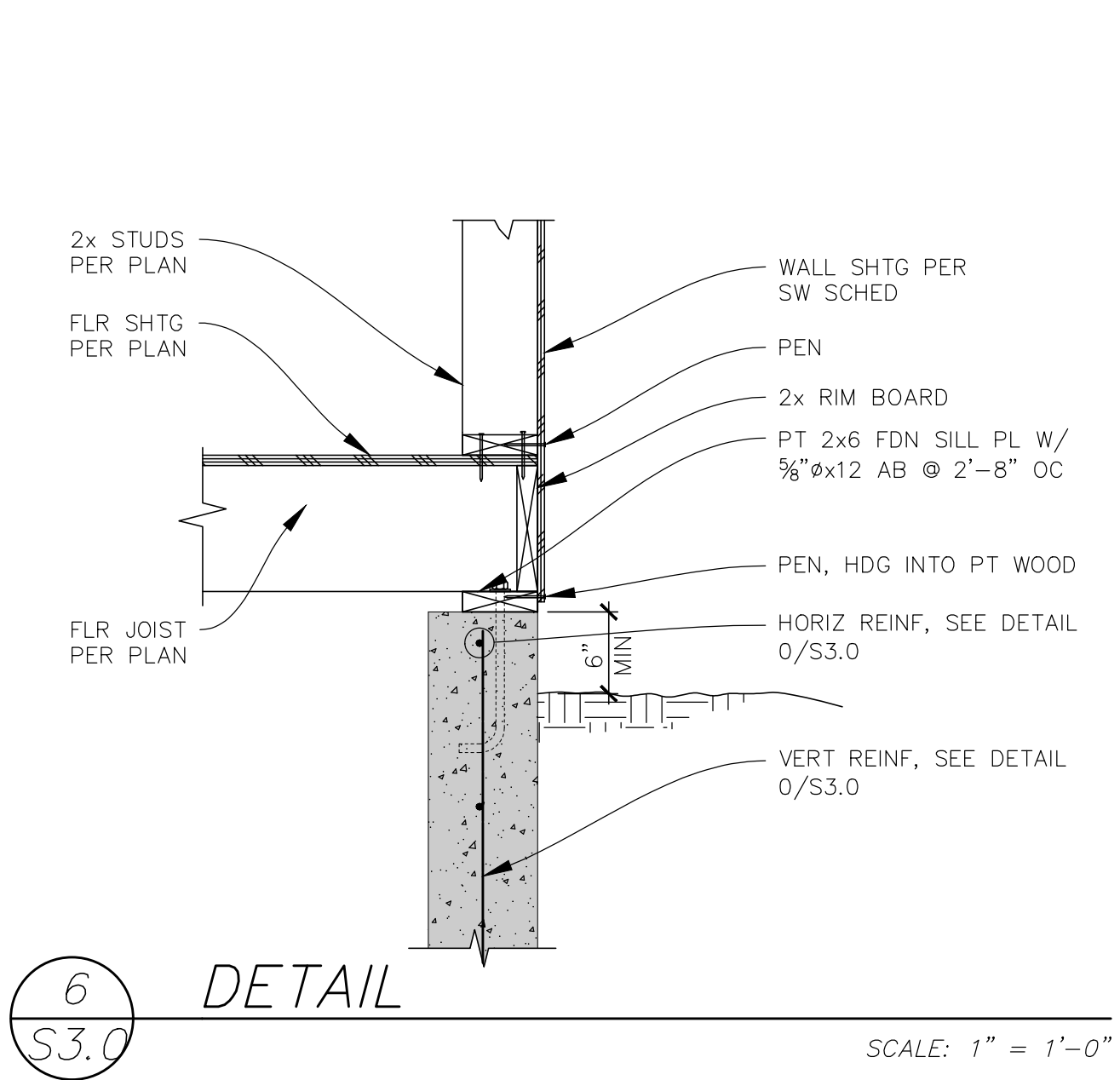
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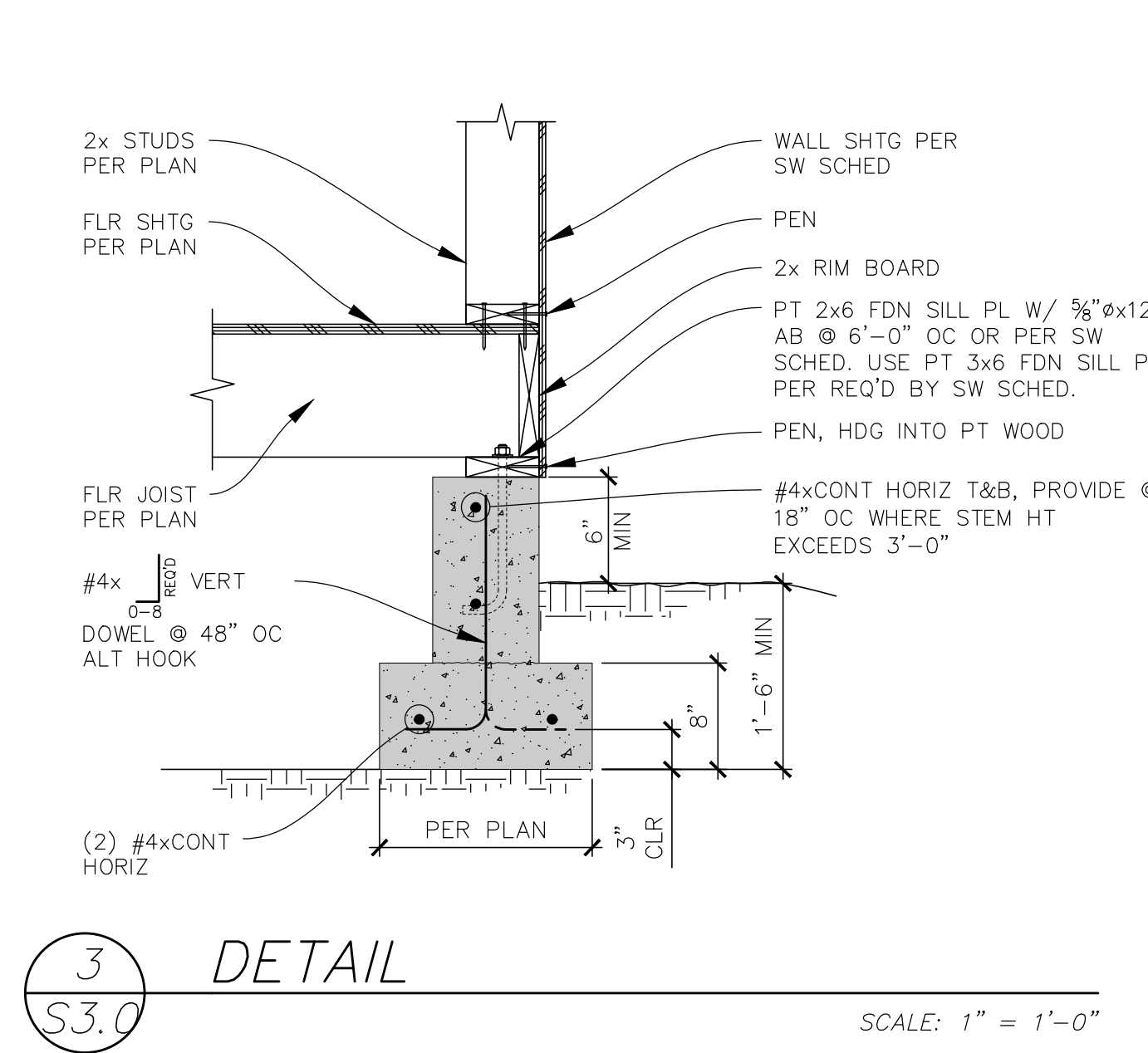
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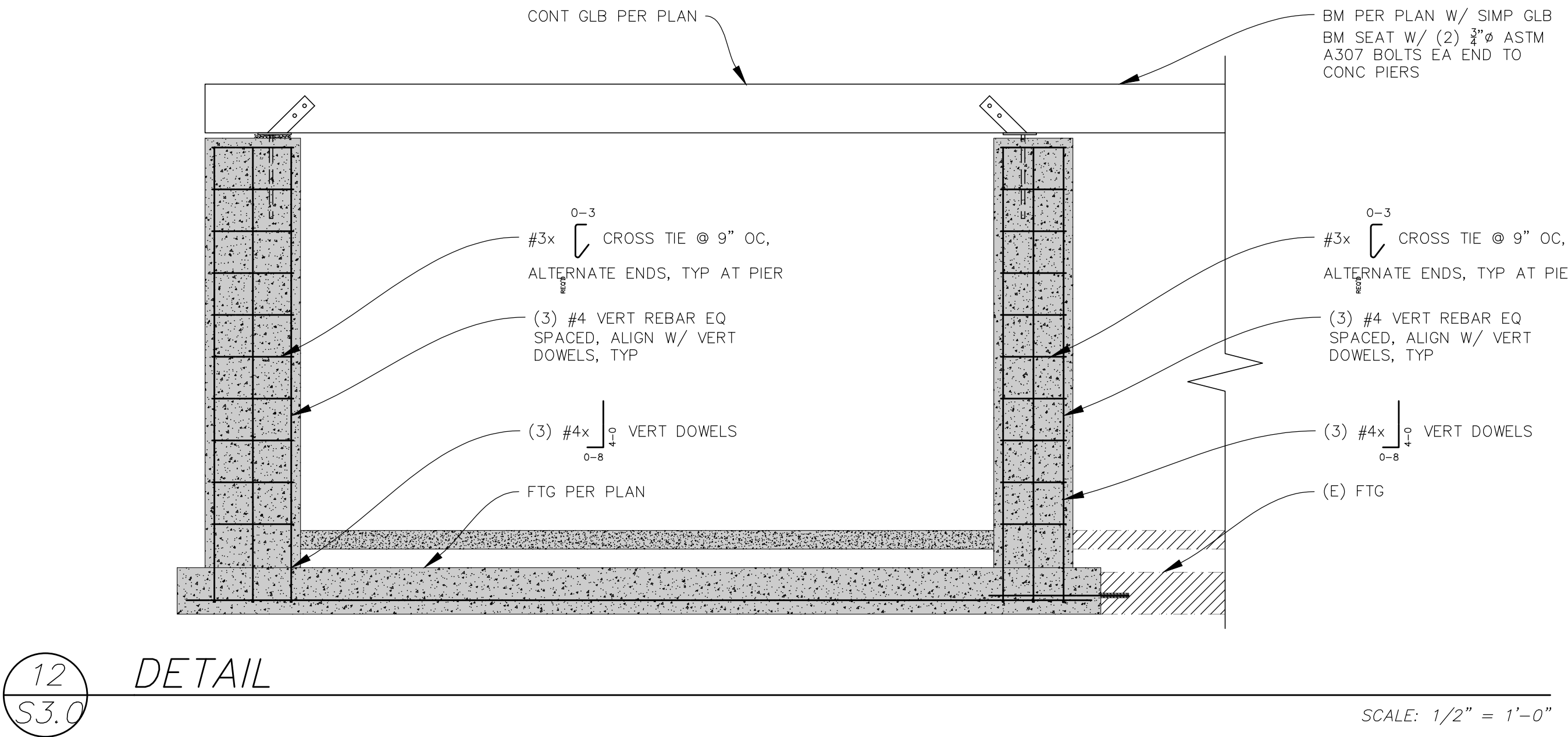
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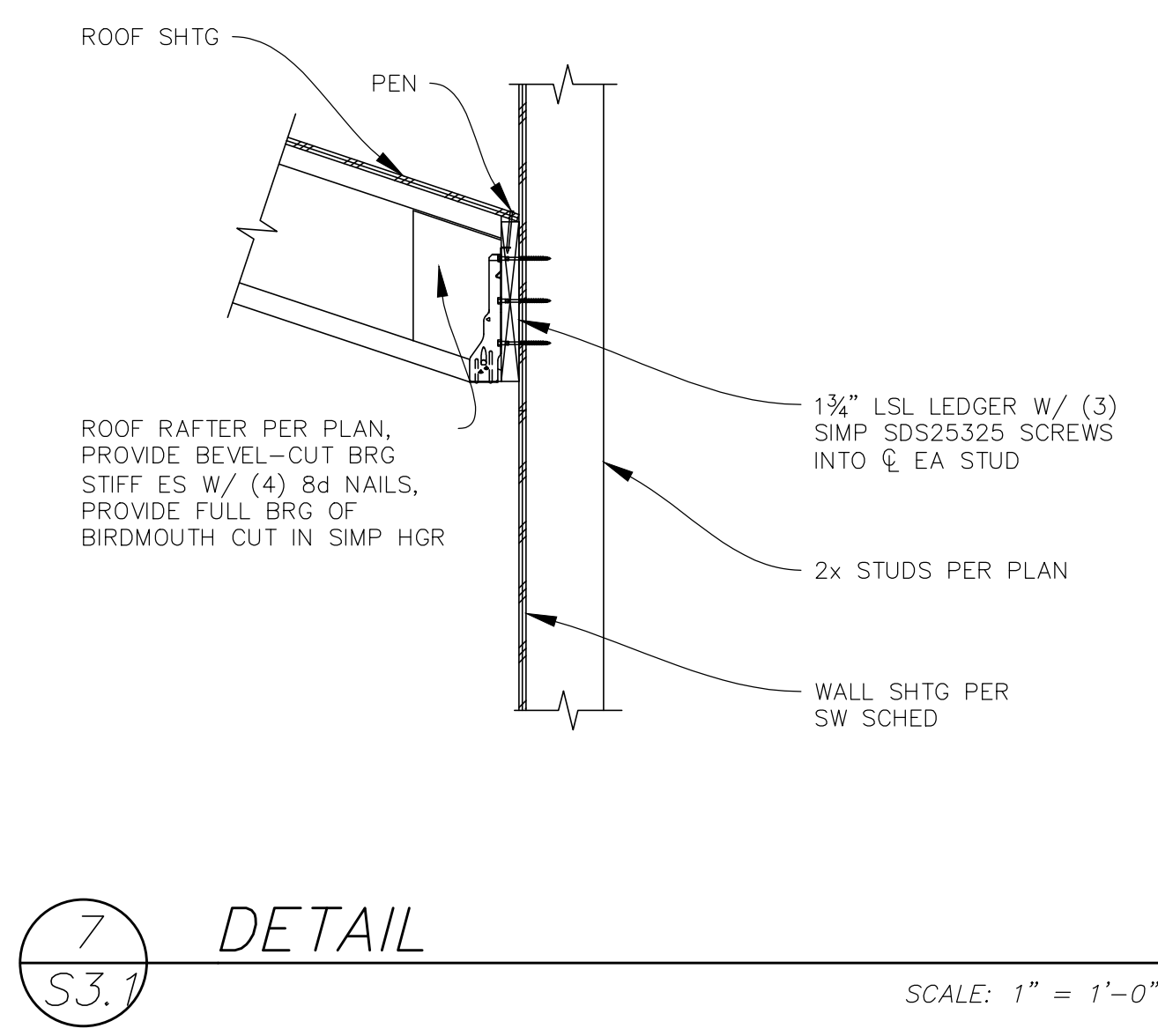
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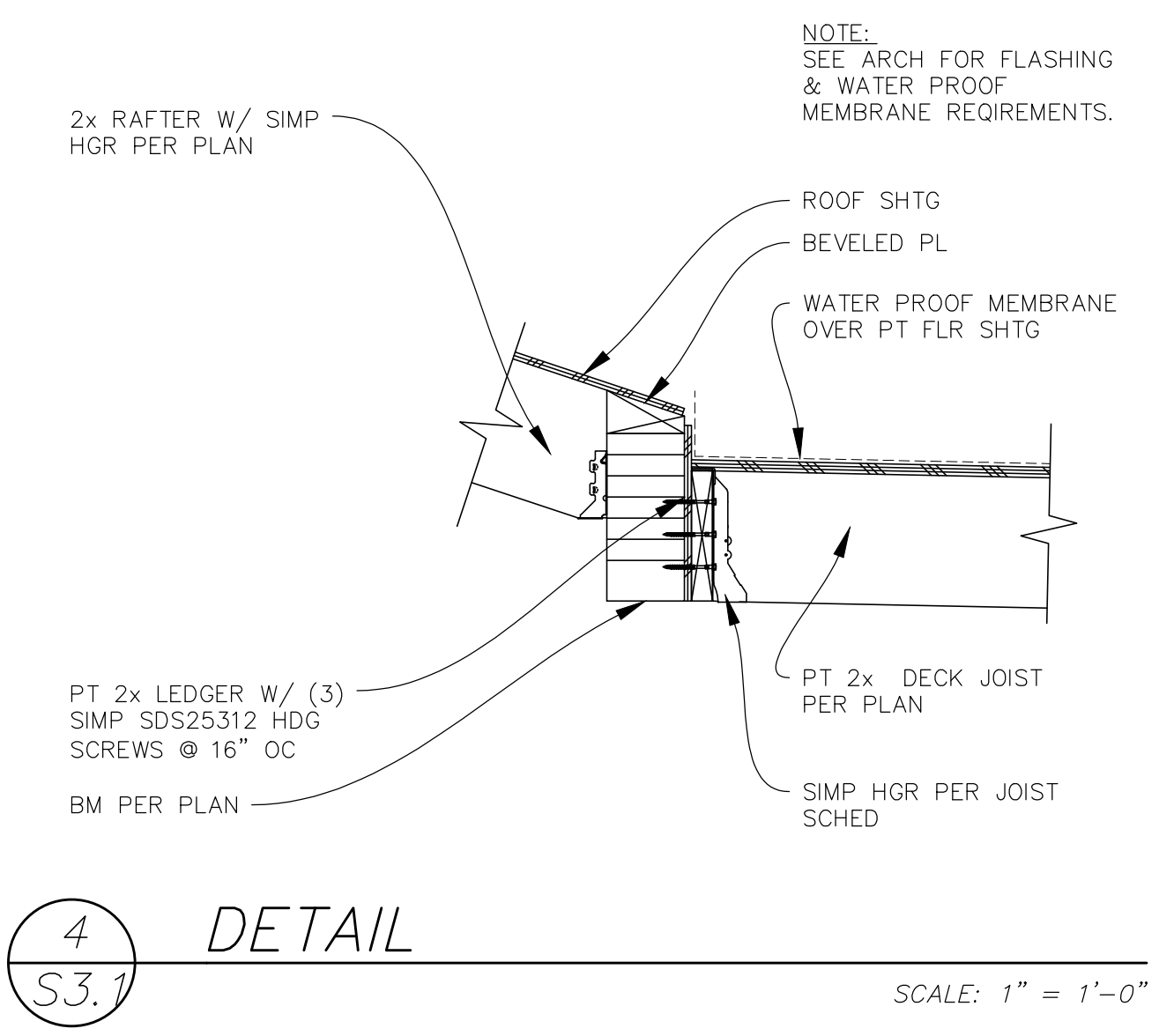
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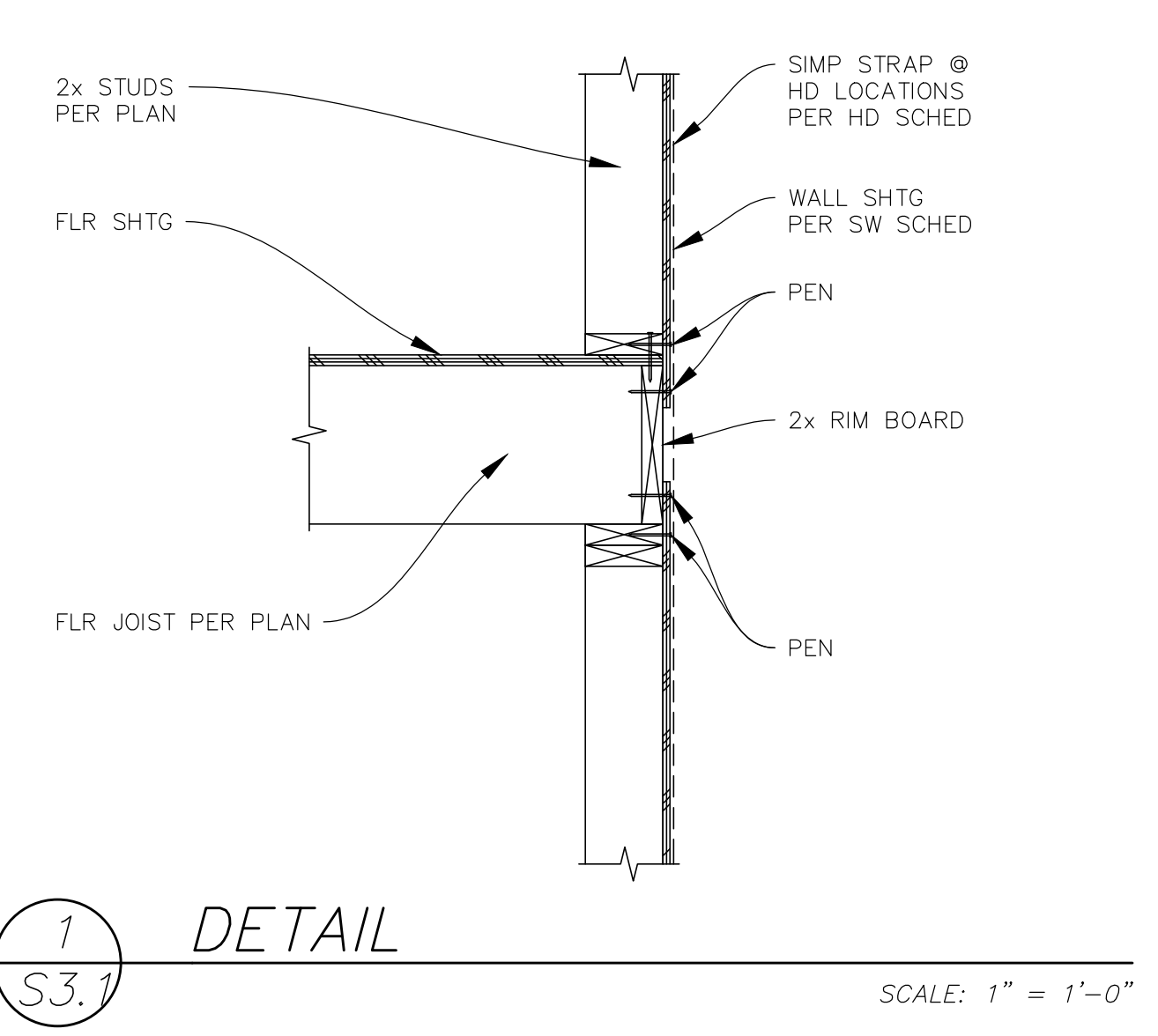
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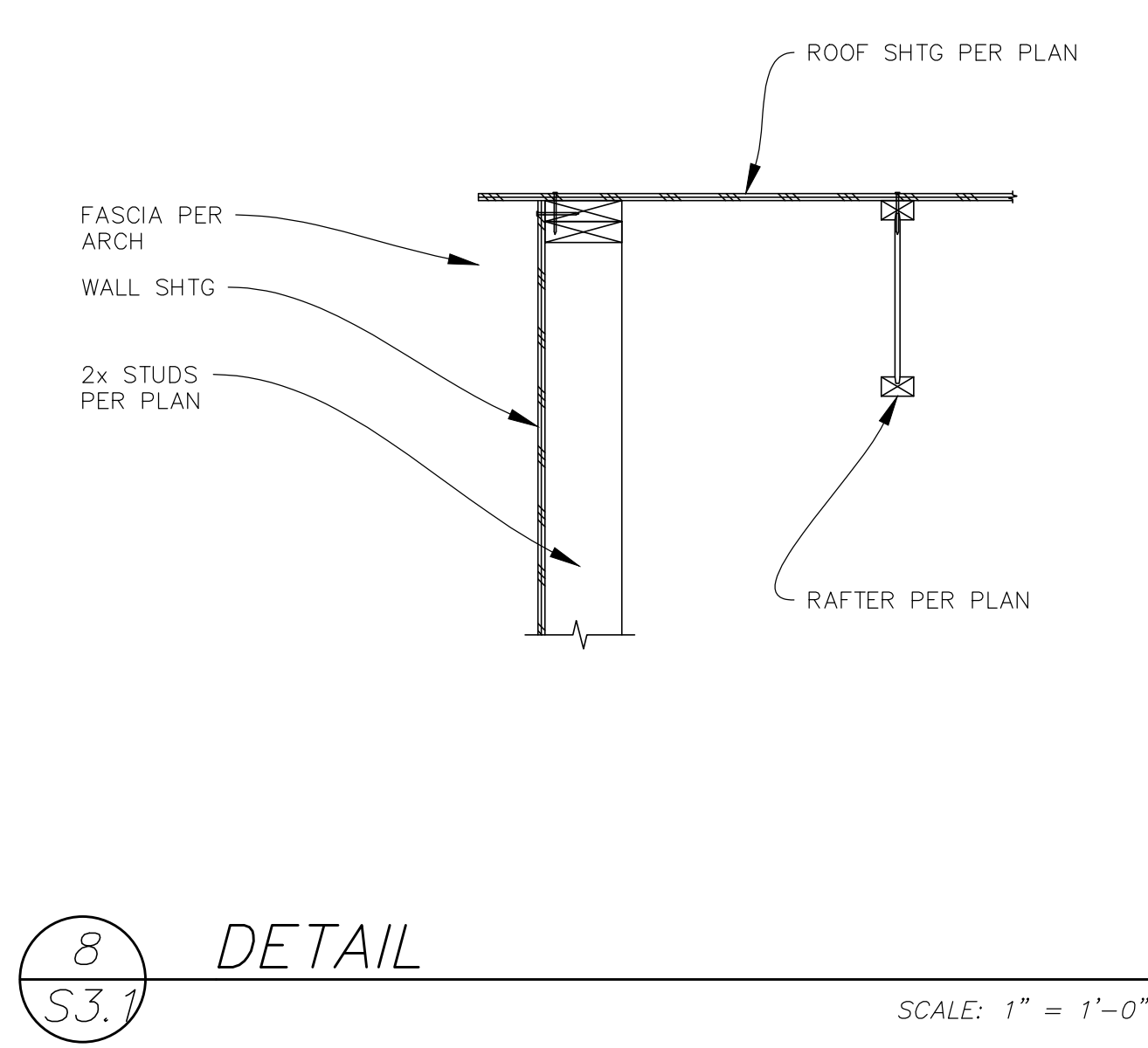
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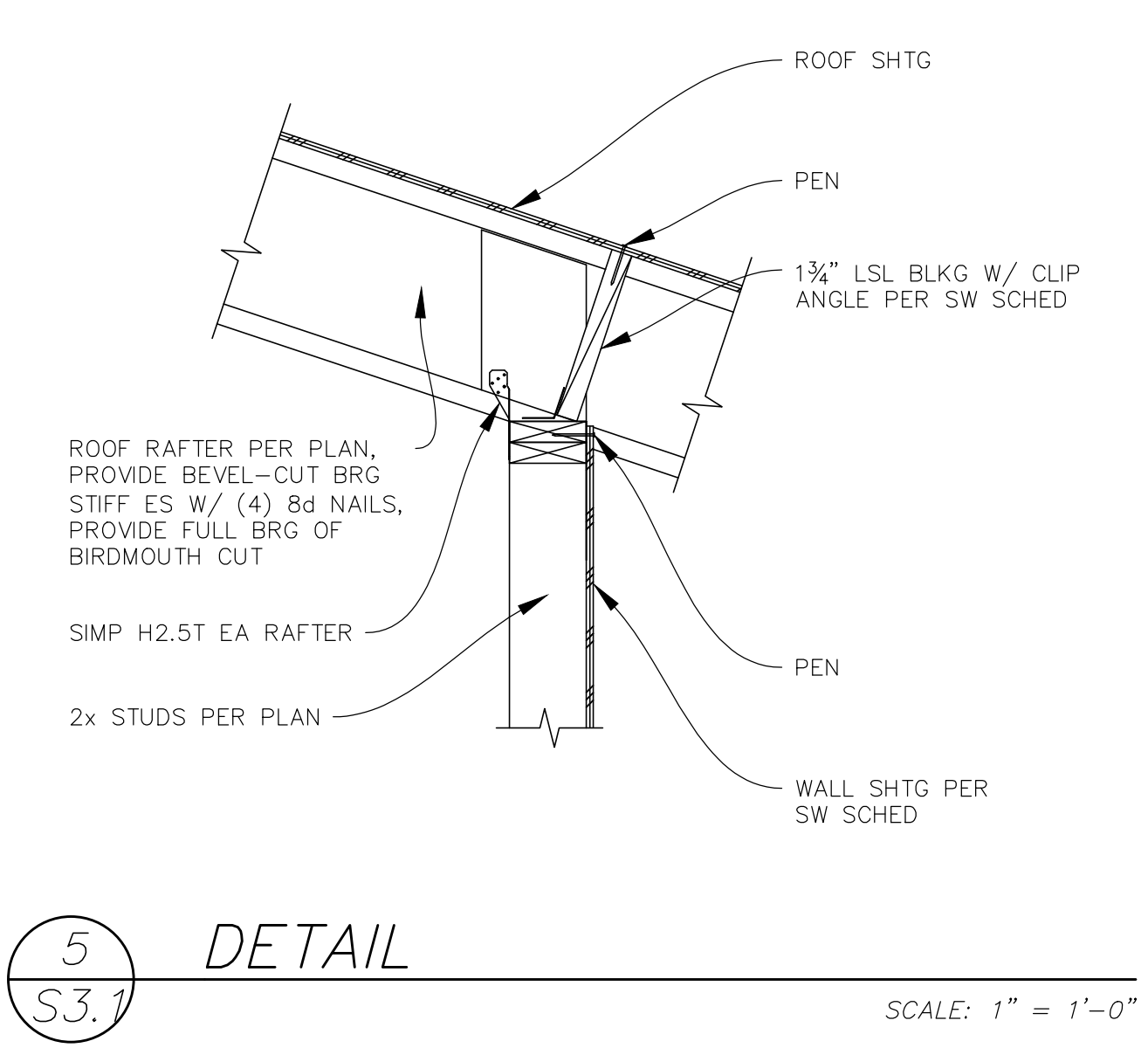
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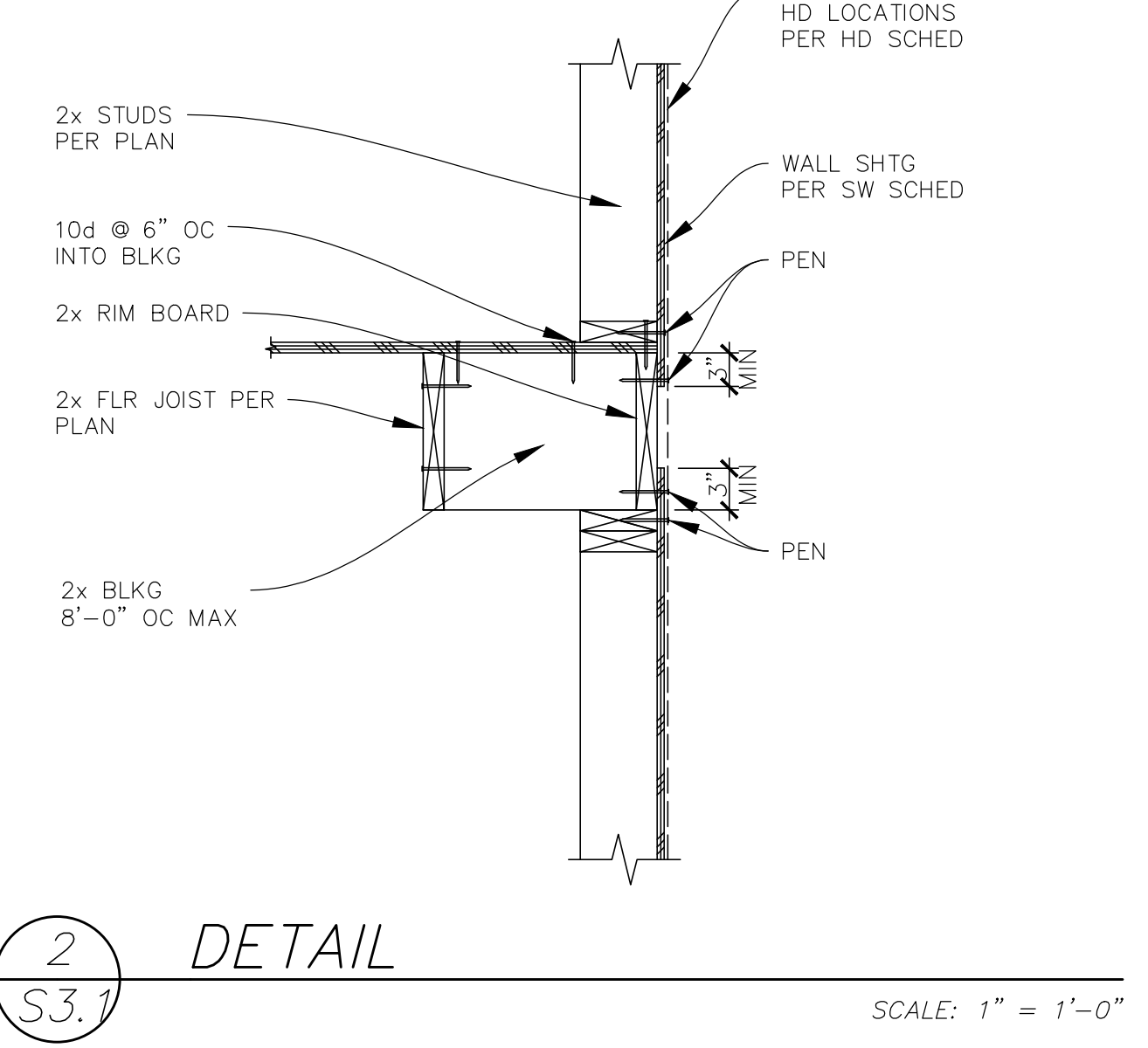
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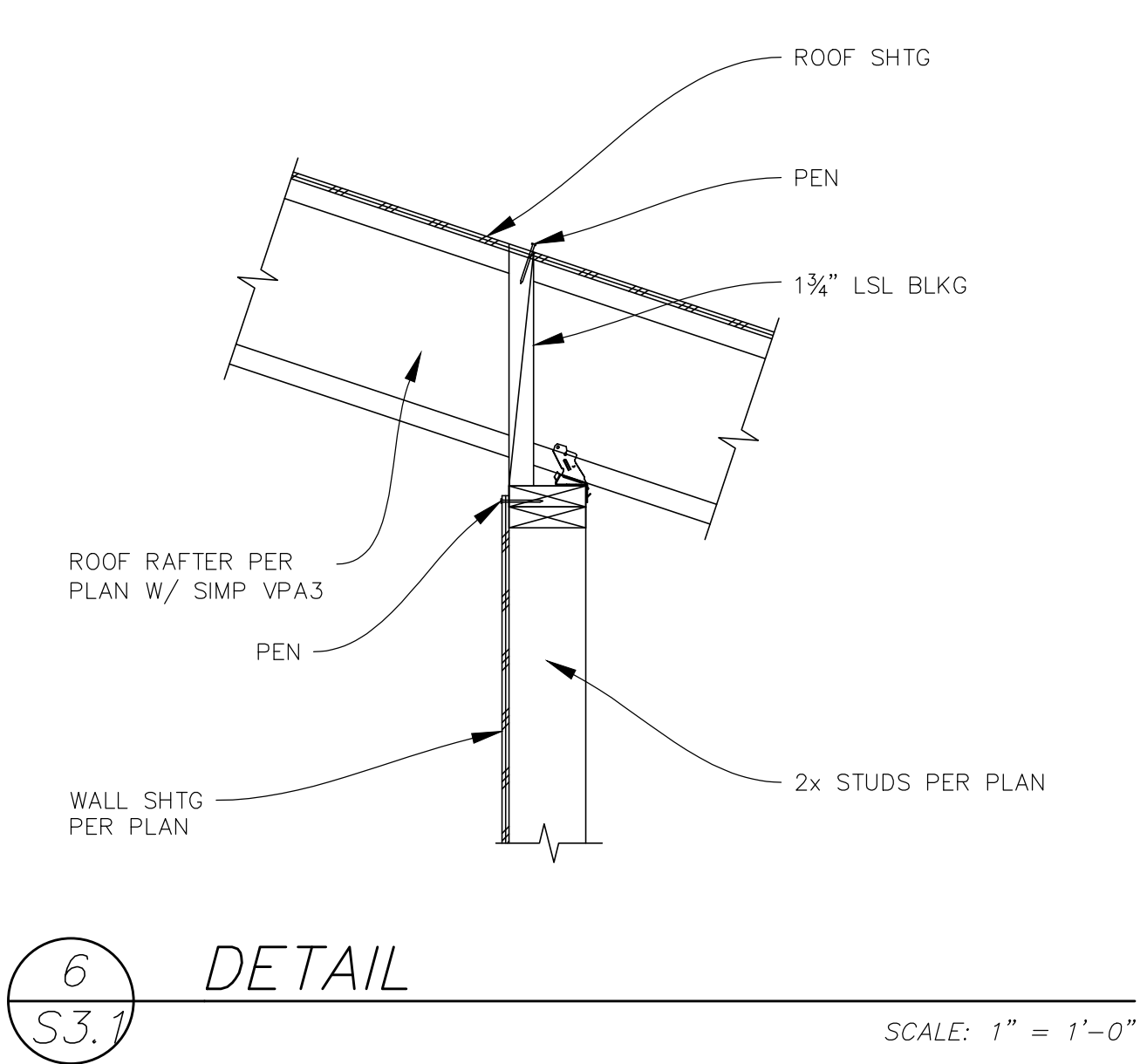
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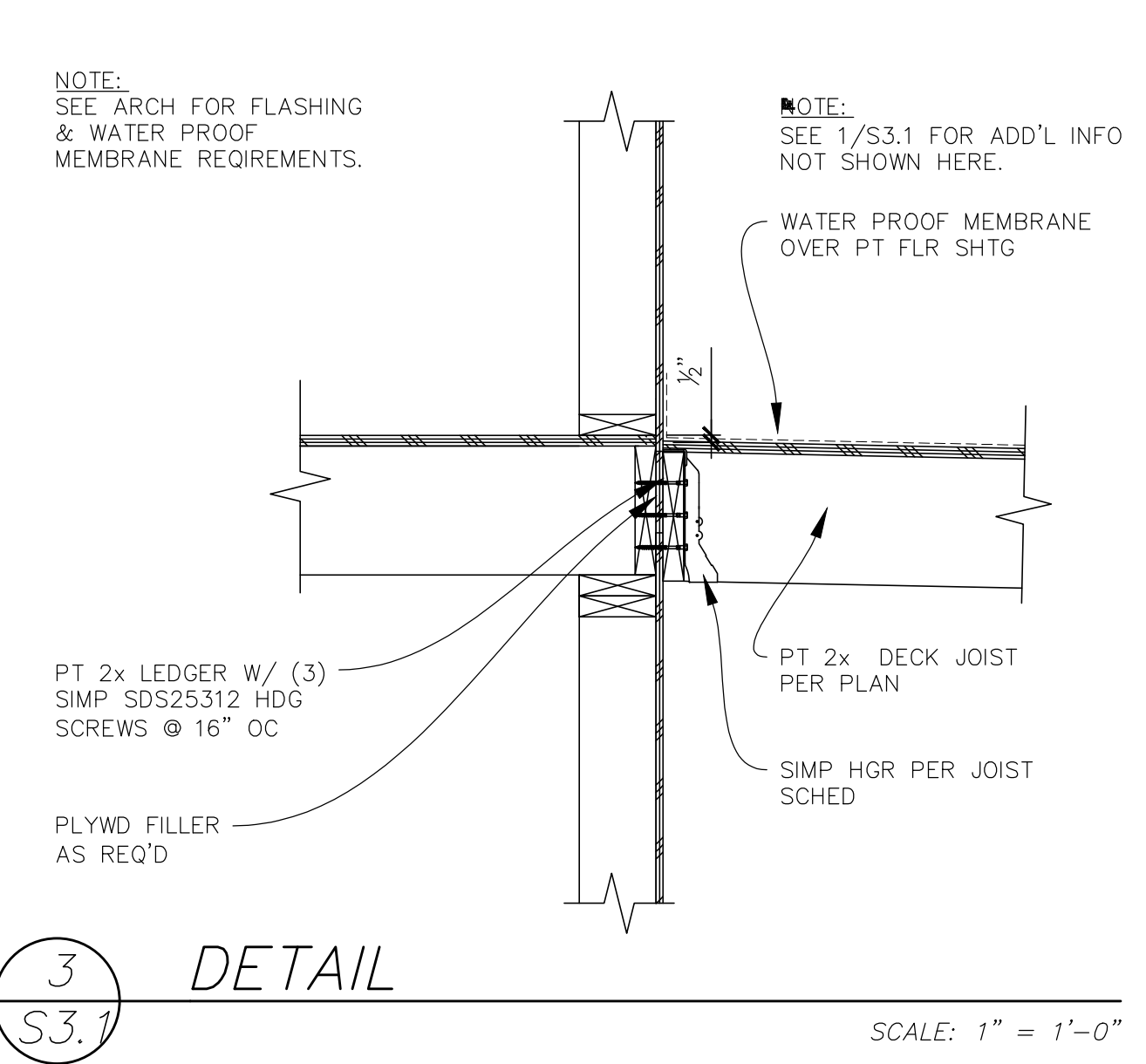
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SCALE: 1" = 1'-0"



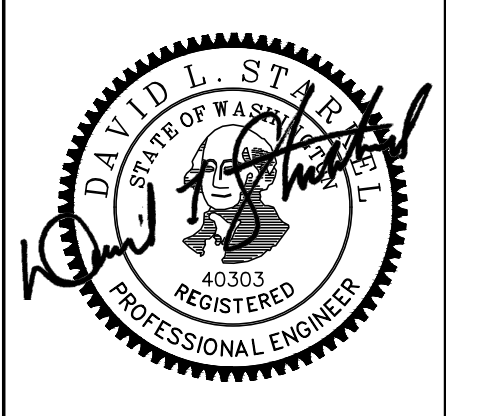
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3
S3.1
DETAIL
SCALE: 1" = 1'-0"

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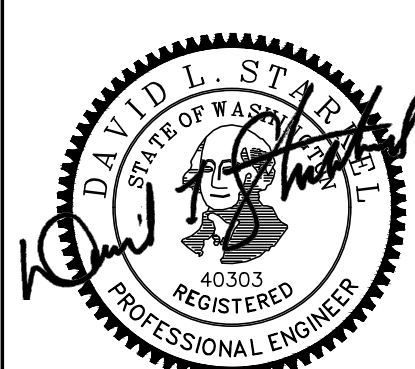
SMITH-CUTRIGHT RESIDENCE ADDITION & REMODEL
7655 SE 40TH STREET
MERCER ISLAND, WA 98040
SECTIONS & DETAILS



REVISIONS	

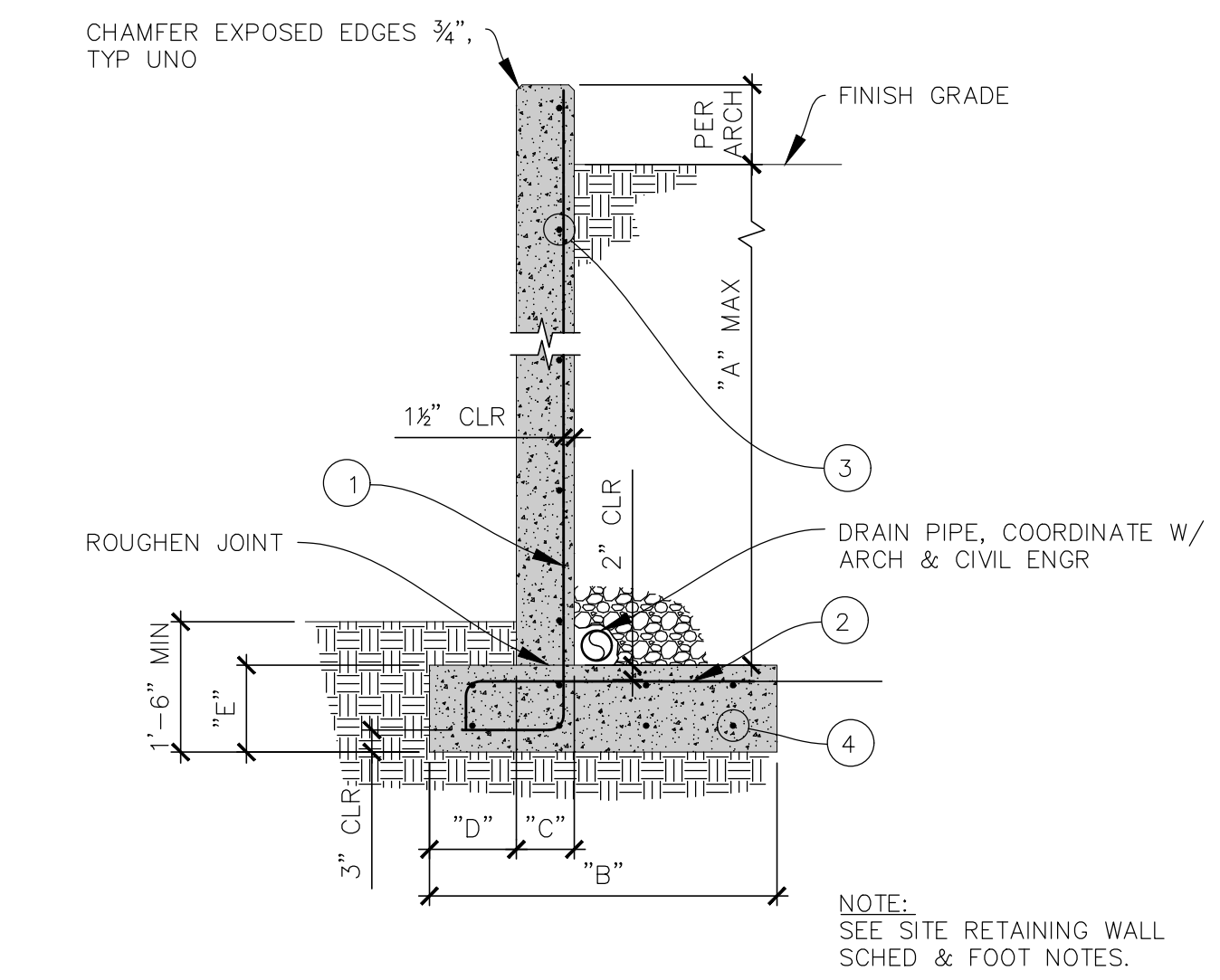
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COMPARITY & LIST SPECIFIC SCHED. & SCHEDULE
STRUCTURAL CALCULATIONS PREPARED BY PACIFIC
NORTHWEST STRUCTURAL GROUP, INC. & APPROVED
BY THE AUTHORITY HAVING JURISDICTION.

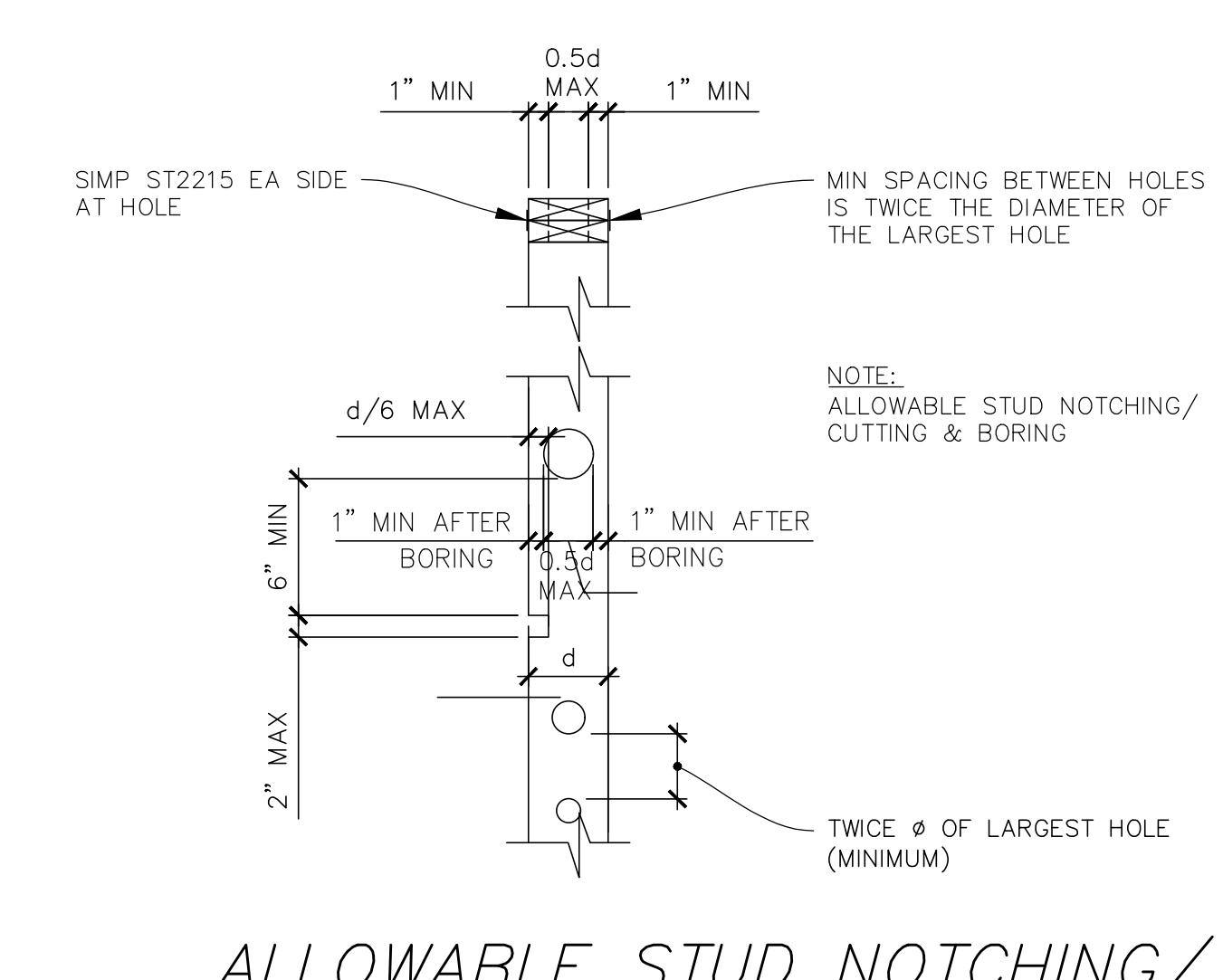


REVISIONS

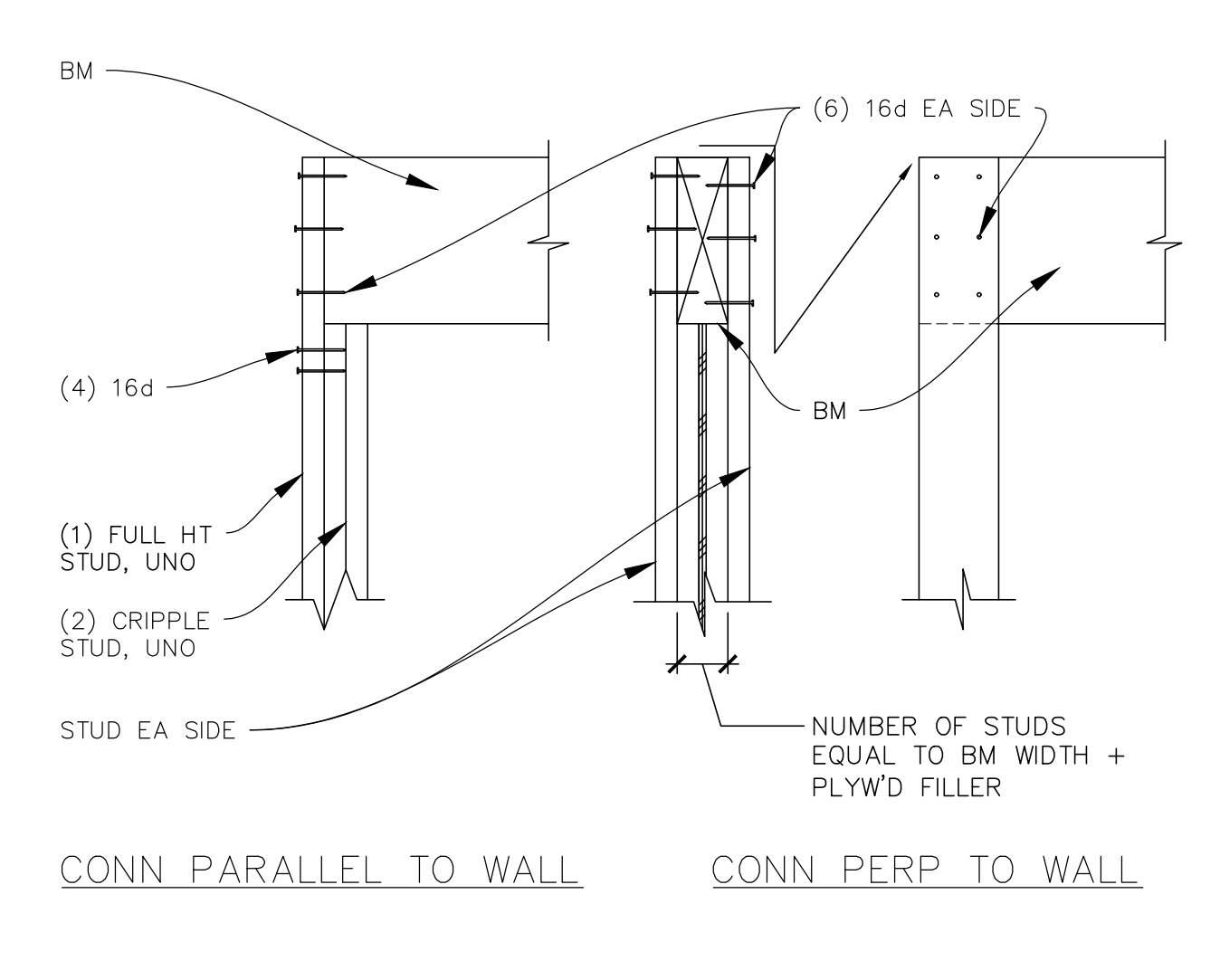
NO.	DATE	DESCRIPTION



7
S3.2 SITE RETAINING WALL
SCALE: 1/2" = 1'-0"



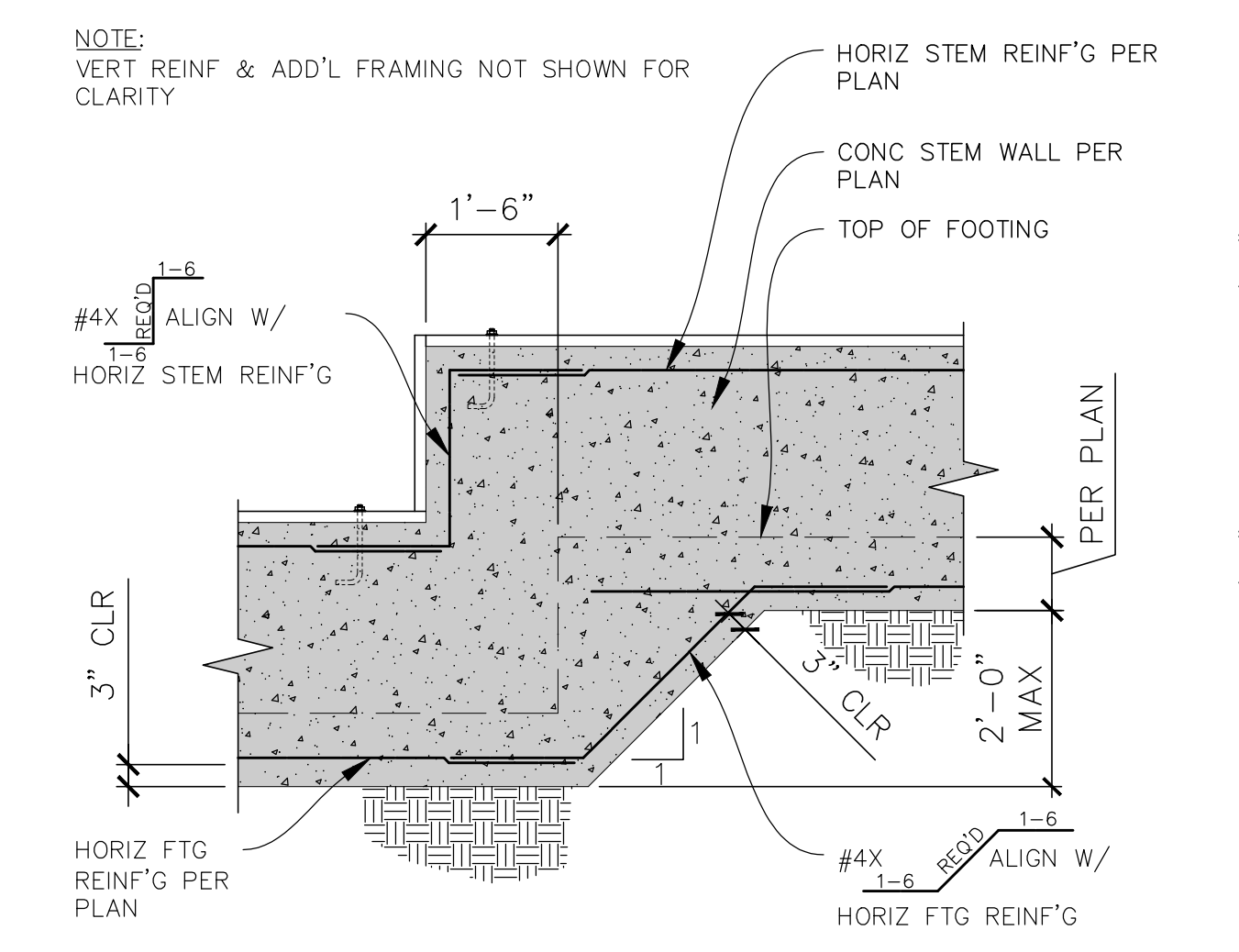
4
S3.2 ALLOWABLE STUD NOTCHING/
CUTTING & BORING
SCALE: 1" = 1'-0"



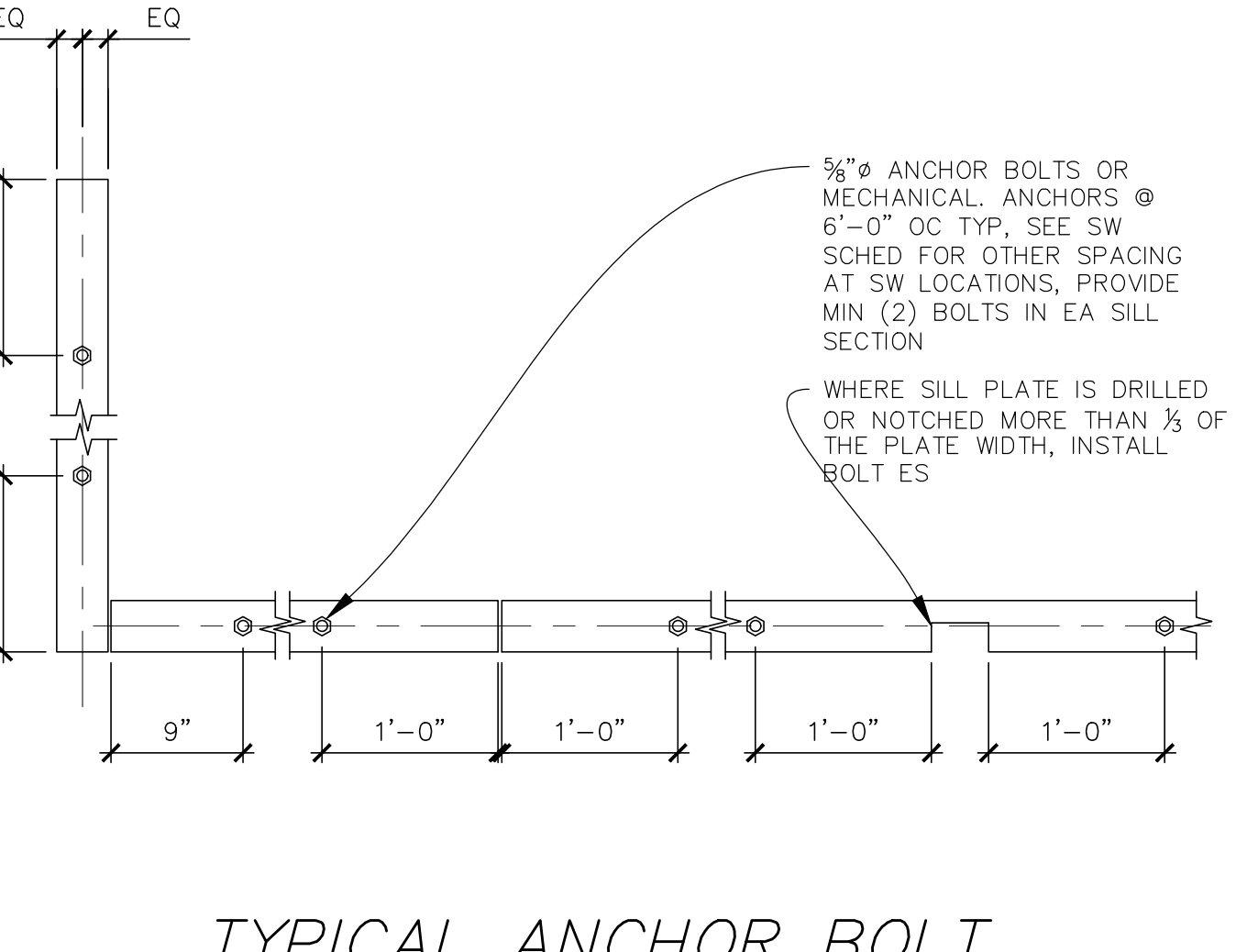
1
S3.2 TYP BM POCKET CONN
SCALE: 1" = 1'-0"

WALL & FTG DIMENSIONS					WALL & FTG REINFORCING SEE DETAIL 7/S3.2			
A	B	C	D	E	1	2	3	4
4'-0"	2'-6"	8"	1'-0"	1'-0"	#4x 11/16 @ 12" OC	#4x 1-11/16 @ 9" OC	#4 @ 18" OC	#4 @ 18" OC
6'-0"	4'-9"	8"	1'-3"	1'-0"	#4x 11/16 @ 12" OC	#4x 1-5/16 @ 9" OC	#4 @ 18" OC	#4 @ 18" OC
8'-0"	6'-3"	8"	1'-9"	1'-0"	#4x 11/16 @ 10" OC	#4x 1-11/16 @ 9" OC	#4 @ 18" OC	#4 @ 18" OC

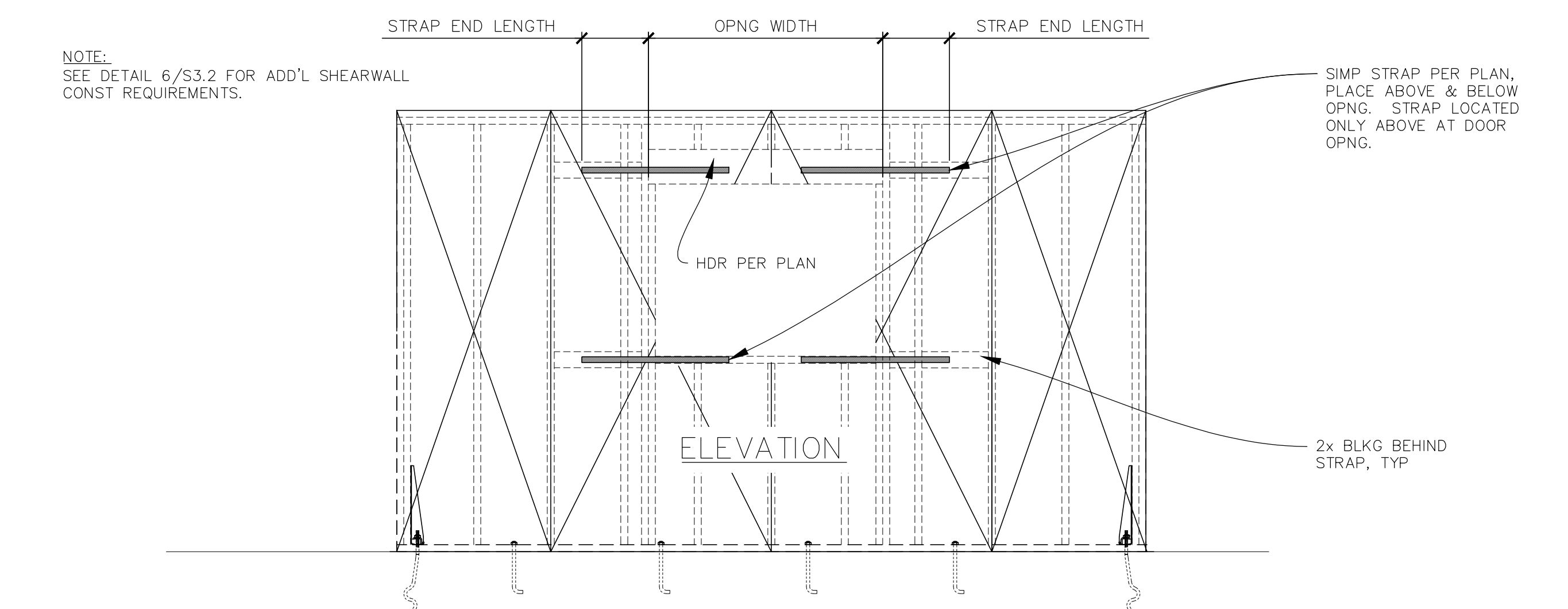
- FOOT NOTES:**
- USED IN CONJUNCTION W/ DETAIL 7/S3.2.
 - POUR TOE AGAINST UNDISTURBED SOIL.
 - LAP REBAR 2'-0" MINIMUM.
 - DESIGN SOIL ASSUMPTIONS:
 - ALLOWABLE SOIL BEARING - 1,500 PSF
 - PASSIVE LATERAL PRESSURE - 250 PSF
 - SOIL FRICTION - 0.45
 - GEOTECHNICAL ENGINEER SHALL FIELD VERIFY SITE SOIL CONDITIONS & SHALL SIGN OFF ON DESIGN SOIL ASSUMPTIONS PRIOR TO CONCRETE PLACEMENT IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION REQUIREMENTS & SOILS REPORT. PROVIDE PACIFIC NORTHWEST STRUCTURAL GROUP, INC WITH COPIES OF GEOTECHNICAL FIELD REPORTS.



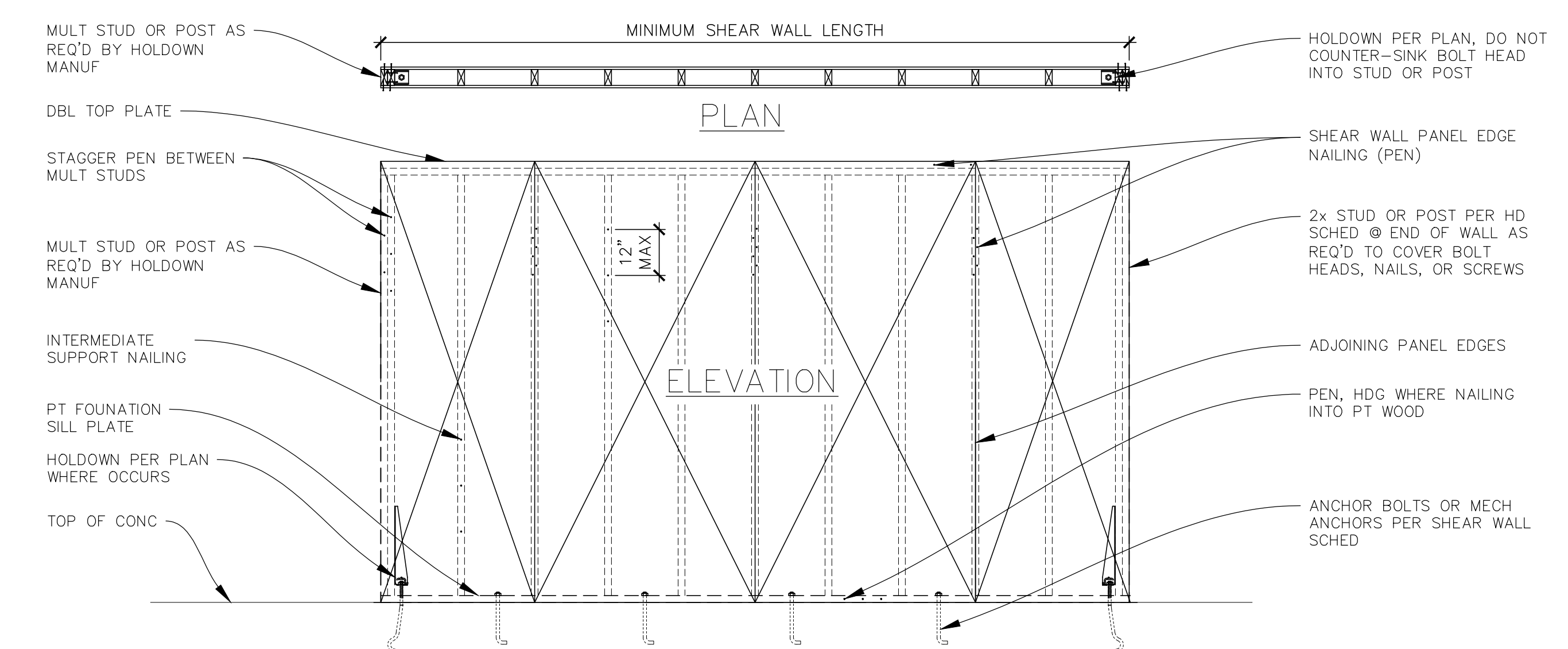
5
S3.2 TYPICAL STEPPED FTG
SCALE: 1/2" = 1'-0"



2
S3.2 TYPICAL ANCHOR BOLT
LAYOUT & SILL NOTCHING
SCALE: 1" = 1'-0"

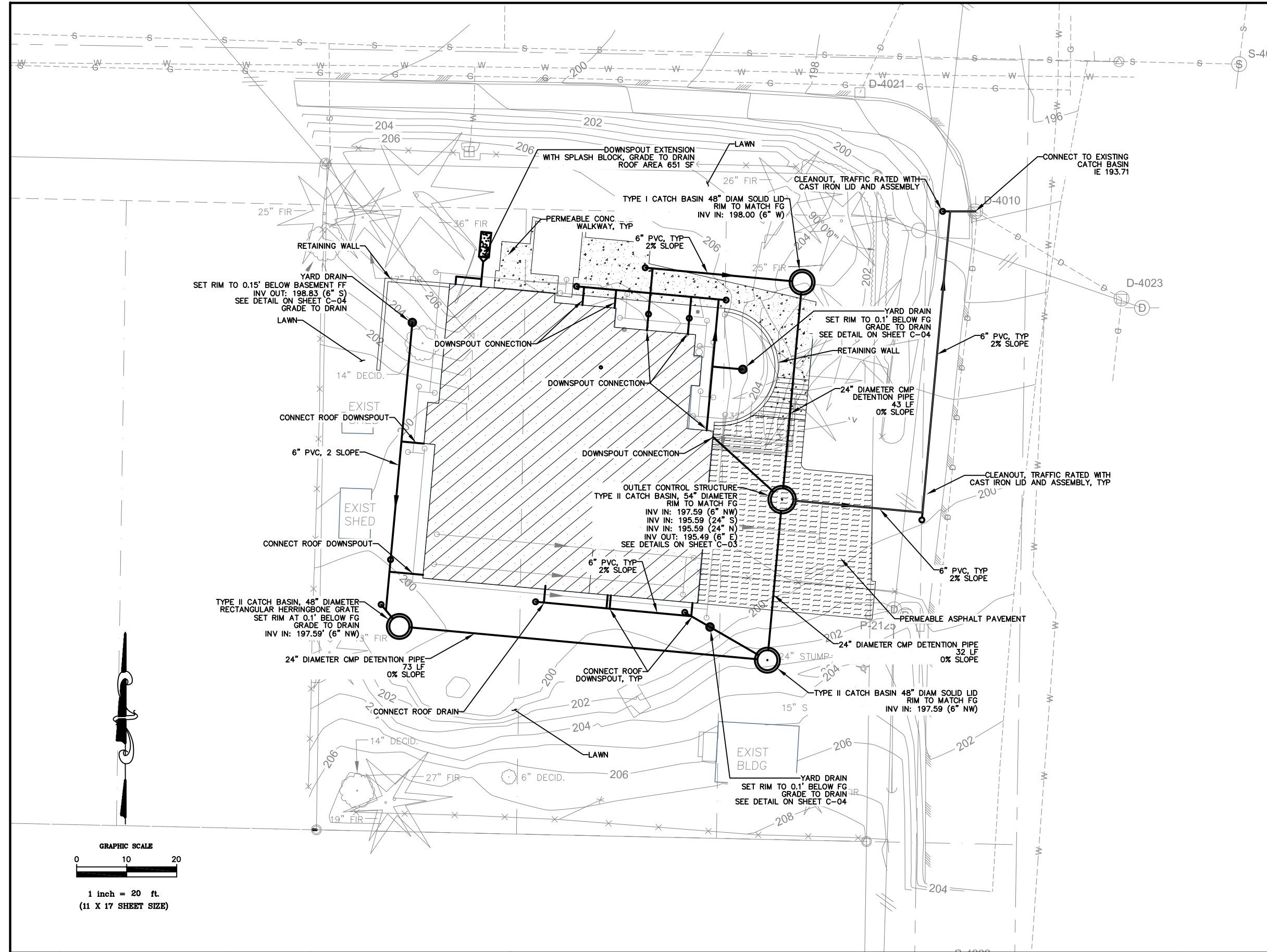


12
S3.2 TYPICAL FTAO SHEARWALL CONSTRUCTION
SCALE: 1/2" = 1'-0"



6
S3.2 TYPICAL SHEARWALL CONSTRUCTION
SCALE: 1/2" = 1'-0"


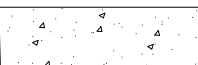

ORIGINAL DRAWING SIZE 24x36



GENERAL NOTES

1. SEE SHEET C-03 AND C-04 FOR DETAILS
2. ALL PVC PIPE TO BE 6" DIAM. SDR 35 SOLID WALL UNLESS NOTED OTHERWISE. PROVIDE MIN. 2' COVER OVER PIPE IN TRAFFIC AREAS. MIN 1' OF COVER IN NON-TRAFFIC AREAS.
3. FINISH GRADE AROUND PERIMETER OF STRUCTURE SHALL BE GRADED TO DRAIN AWAY.
4. ALL DISTURBED AREAS NOT COVERED IN HARD SURFACES SHALL RECEIVE BMP T5.13 (POST CONSTRUCTION SOIL QUALITY AND DEPTH) AND HYDROSEED TO ESTABLISH PERMANENT VEGETATION. RETAIN DUFF LAYER AND NATIVE TOPSOIL TO MAXIMUM EXTEND PRACTICAL AND APPLY TO DISTURBED AREAS TO ASSIST AS VEGETATED COVER.
5. ALL MATERIALS AND WORK SHALL ADHERE TO DEPT OF ECOLOGY REQUIREMENTS, CITY OF MERCER ISLAND REQUIREMENTS, AND CURRENT WSDOT SPECIFICATIONS AND STANDARD DRAWINGS.
6. ALL HARD SURFACES TO BE SLOPED AWAY FROM STRUCTURES
7. MINIMUM 2% SLOPE ON PVC PIPE
8. PIPE BEDDING/BACKFILL SHALL ADHERE TO CURRENT WSDOT SPECIFICATIONS AND STANDARD DRAWINGS

LEGEND

-  HOUSE FOOTPRINT
-  CONCRETE PAVEMENT PERMEABLE
-  ASPHALT PAVEMENT PERMEABLE

ABBREVIATIONS

- CMP - CORRUGATED METAL PIPE
- FG - FINISH GRADE
- FF - FINISH FLOOR

STORM DRAINAGE NOTES

LOT SIZE 14,663 SF

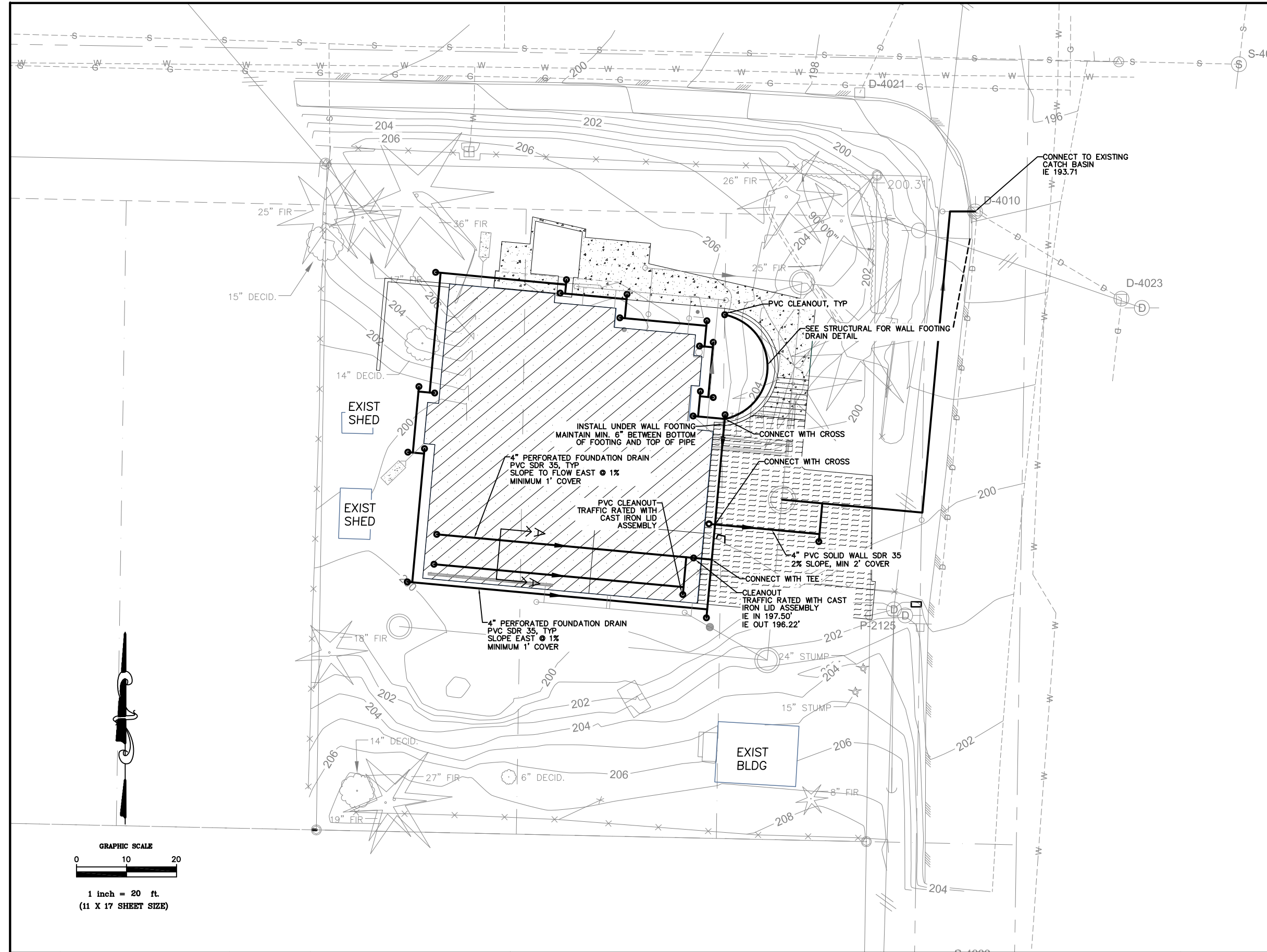
NEW/REPLACED HARD SURFACES

- PAVED WALKWAYS 529 SF
- ROOF AND DECKS 3,457 SF
- ASPHALT DRIVEWAY 995 SF

TOTAL HARD SURFACES = 4,981 SF

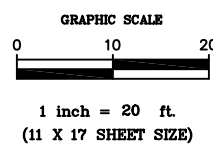
TOTAL LAWN/LANDSCAPING/NATIVE VEGETATION = 9,682 SF

△	REVISIONS	DATE	DESIGNED T. MURPHY	DRAWN T. MURPHY	TMM ENGINEERING 381 NE O'HENRY CT POULSBO, WA 98370 PH 360.979.6778	PROJECT NAME SMITH + CUTRIGHT RESIDENCE 7655 SE 40TH STREET MERCER ISLAND, WA 98040	DRAWING NO. 1 OF 4
						STORMWATER SITE PLAN	C-01



GENERAL NOTES

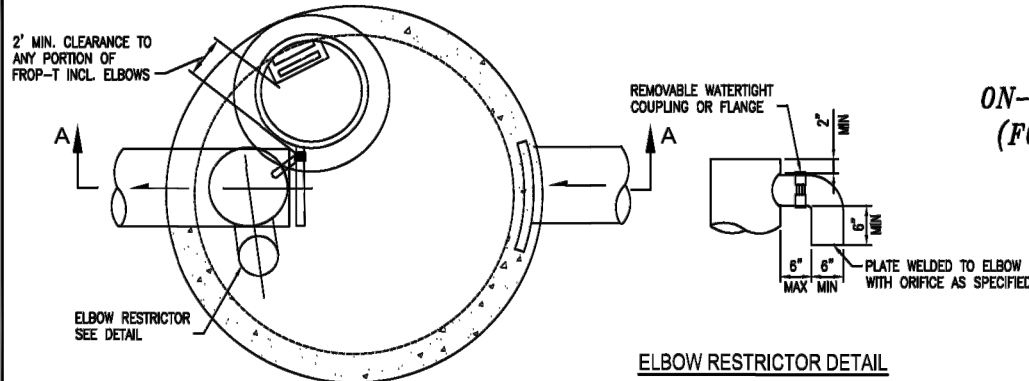
1. SEE SHEET C-04 FOR DETAILS AND GARAGE SLAB UNDERDRAIN SECTION
2. ALL PVC PIPE TO BE SDR 35. PROVIDE MIN. 1' COVER OVER PIPE. BED AND BACKFILL PERFORATED DRAIN PIPE WITH MATERIAL MEETING WSDOT SPEC 9-03.12(4). INSTALL PER WSDOT SPECIFICATIONS
3. CLEANOUTS TO BE NON-TRAFFIC RATED UNLESS NOTED OTHERWISE
4. FINISH GRADE AROUND PERIMETER OF STRUCTURE SHALL BE GRADED TO DRAIN AWAY.
5. ALL DISTURBED AREAS NOT COVERED IN HARD SURFACES SHALL RECEIVE BMP T5.13 (POST CONSTRUCTION SOIL QUALITY AND DEPTH) AND HYDROSEED TO ESTABLISH PERMANENT VEGETATION. RETAIN DUFF LAYER AND NATIVE TOPSOIL TO MAXIMUM EXTEND PRACTICAL AND APPLY TO DISTURBED AREAS TO ASSIST AS VEGETATED COVER.
6. ALL MATERIALS AND WORK INCLUDING PIPE BEDDING/BACKFILL SHALL ADHERE TO CITY OF MERCER ISLAND AND CURRENT WSDOT SPECIFICATIONS AND STANDARD DRAWINGS.



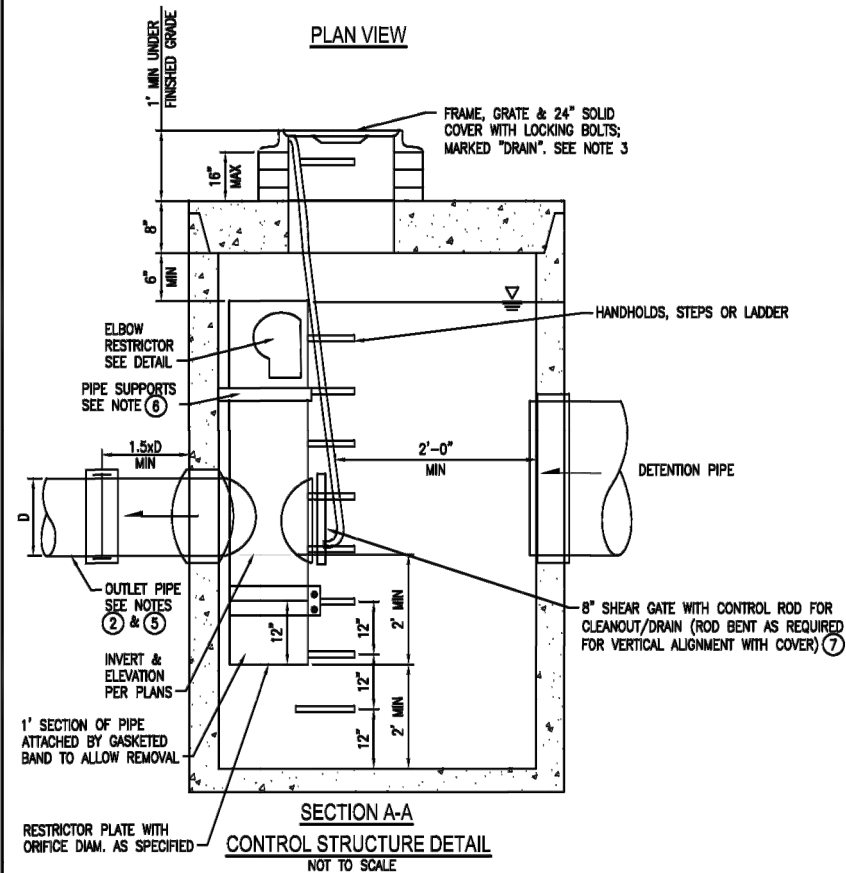
△	REVISIONS	DATE	DESIGNED	T. MURPHY	TMM ENGINEERING 381 NE O'HENRY CT POULSBO, WA 98370 PH 360.979.6778	PROJECT NAME SMITH + CUTRIGHT RESIDENCE 7655 SE 40TH STREET MERCER ISLAND, WA 98040	FOUNDATION DRAINAGE PLAN	DRAWING NO.	2 OF 4
			DRAWN	T. MURPHY				C-02	

**ATTACHMENT 1
CITY OF MERCER ISLAND
ON-SITE DETENTION SYSTEM WORKSHEET
(FOR NEW PLUS REPLACED IMPERVIOUS
AREA OF 9,500 SF OR LESS)**

OWNER: LAURA SMITH	7655 SE 40TH ST MERCER ISLAND, WA 98040	PREPARED BY: TRENT MURPHY, PE
PERMIT #:		PHONE: 360-979-6778
		DATE: 11/15/2021
NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): 4,981 SF	DETENTION PIPE DIA (INCH): 24"	DETENTION PIPE LENGTH (FT): 149
SOIL TYPE: C (TILL SOILS)	PIPE MATERIAL: CMP	ORIFICE #1 DIA _____ INCH, ELEV _____ ORIFICE #2 DIA _____ INCH, ELEV _____

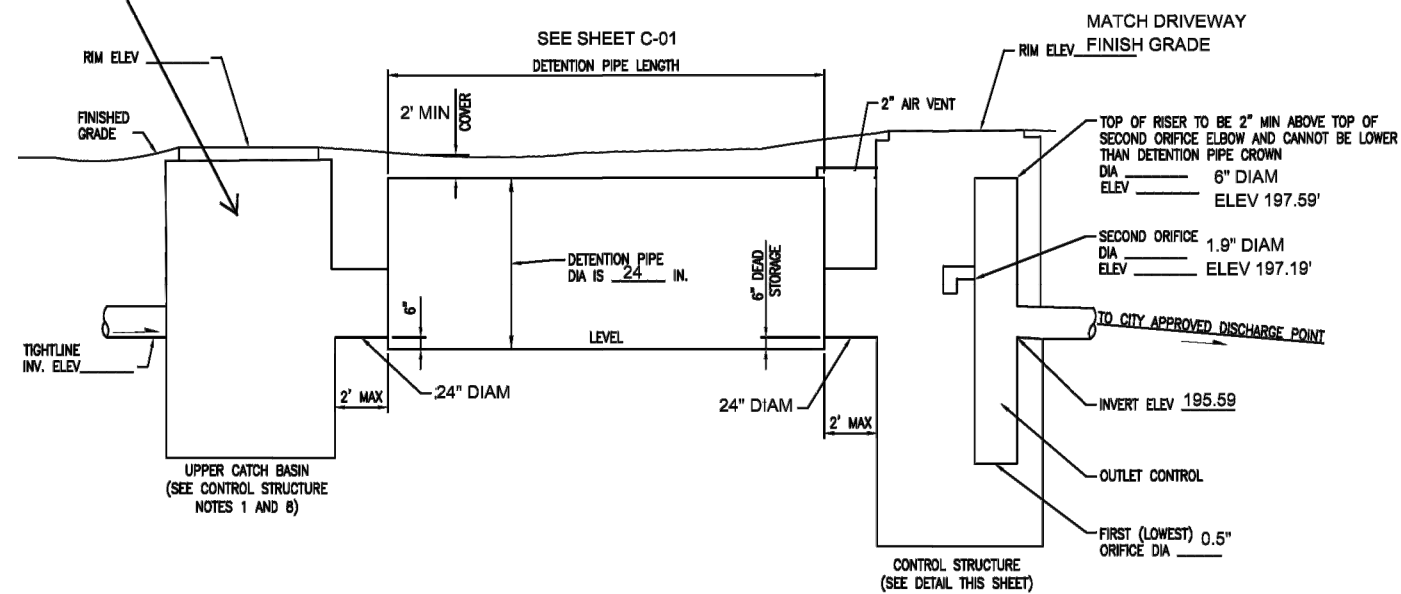


ELBOW RESTRICTOR DETAIL



**SECTION A-A
CONTROL STRUCTURE DETAIL
NOT TO SCALE**

SEE SHEET C-01 FOR DETENTION
SYSTEM LAYOUT AND UPPER
CATCH BASIN DETAILS



**ON-SITE DETENTION SYSTEM
NOT TO SCALE (ENGINEER TO FILL IN BLANKS)**

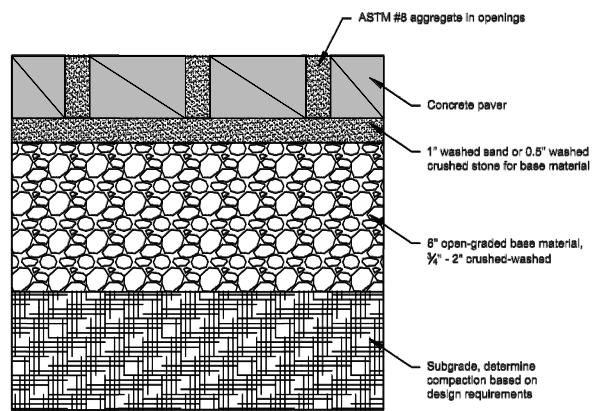
CONTROL STRUCTURE NOTES:

- USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
- OUTLET PIPE: MIN. 6 INCH.
- METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- FRAME AND LADDER OR STEPS OFFSET SO:
 - CLEANOUT GATE IS VISIBLE FROM TOP;
 - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
 - FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0\"/>

ON-SITE DETENTION SYSTEM NOTES:

- CALL DEVELOPMENT SERVICES (206-275-7805) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
- RESPONSIBILITY FOR OPERATION AND MAINTANANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
- PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING, LINED CORRUGATED POLYETHYLENE PIPE (LCPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
- FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

△	REVISIONS	DATE	DESIGNED	T. MURPHY	TMM ENGINEERING	PROJECT NAME	DRAWING NO.
			DRAWN	T. MURPHY			
					381 NE O'HENRY CT POULSBORO, WA 98370 PH 360.979.6778	SMITH + CUTRIGHT RESIDENCE 7655 SE 40TH STREET MERCER ISLAND, WA 98040	3 OF 4
						DRAINAGE DETAILS	C-03



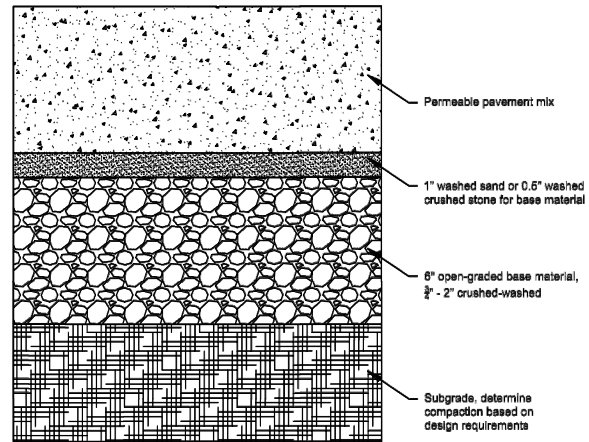
NOT TO SCALE

Figure V-5.3.5
Example of a Permeable Paver Section

Revised January 2016



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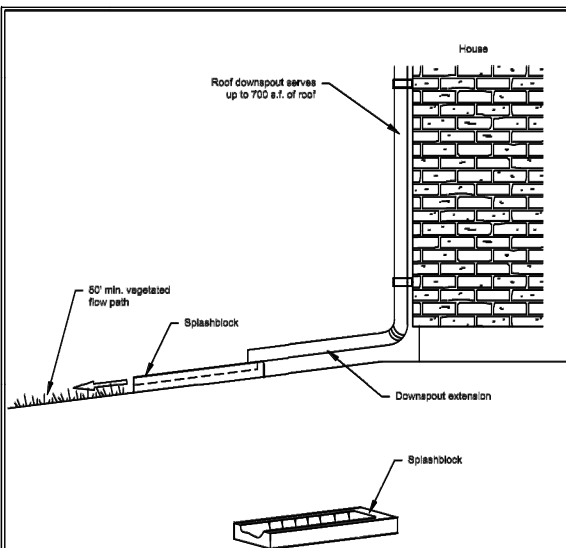
NOT TO SCALE

Figure V-5.3.4
Example of a Permeable Pavement
(Concrete or Asphalt) Section

Revised January 2016



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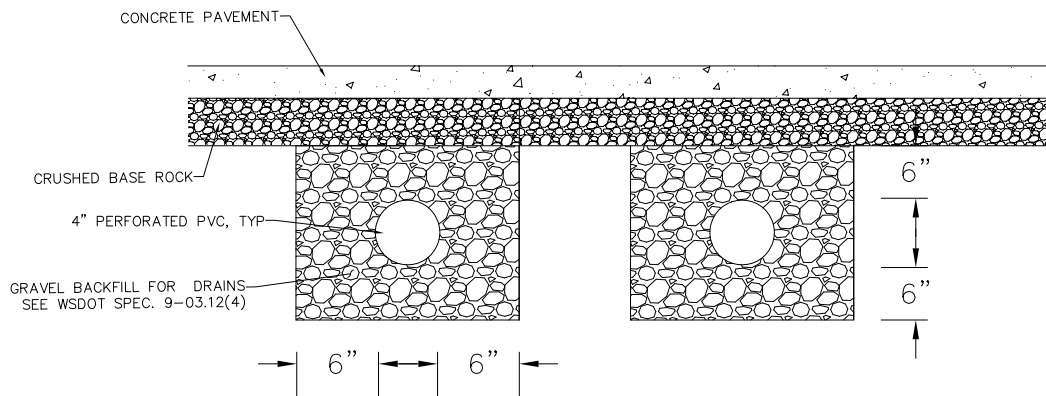
NOT TO SCALE

Figure III-3.1.7
Typical Downspout Splashblock Dispersion

Revised December 2016

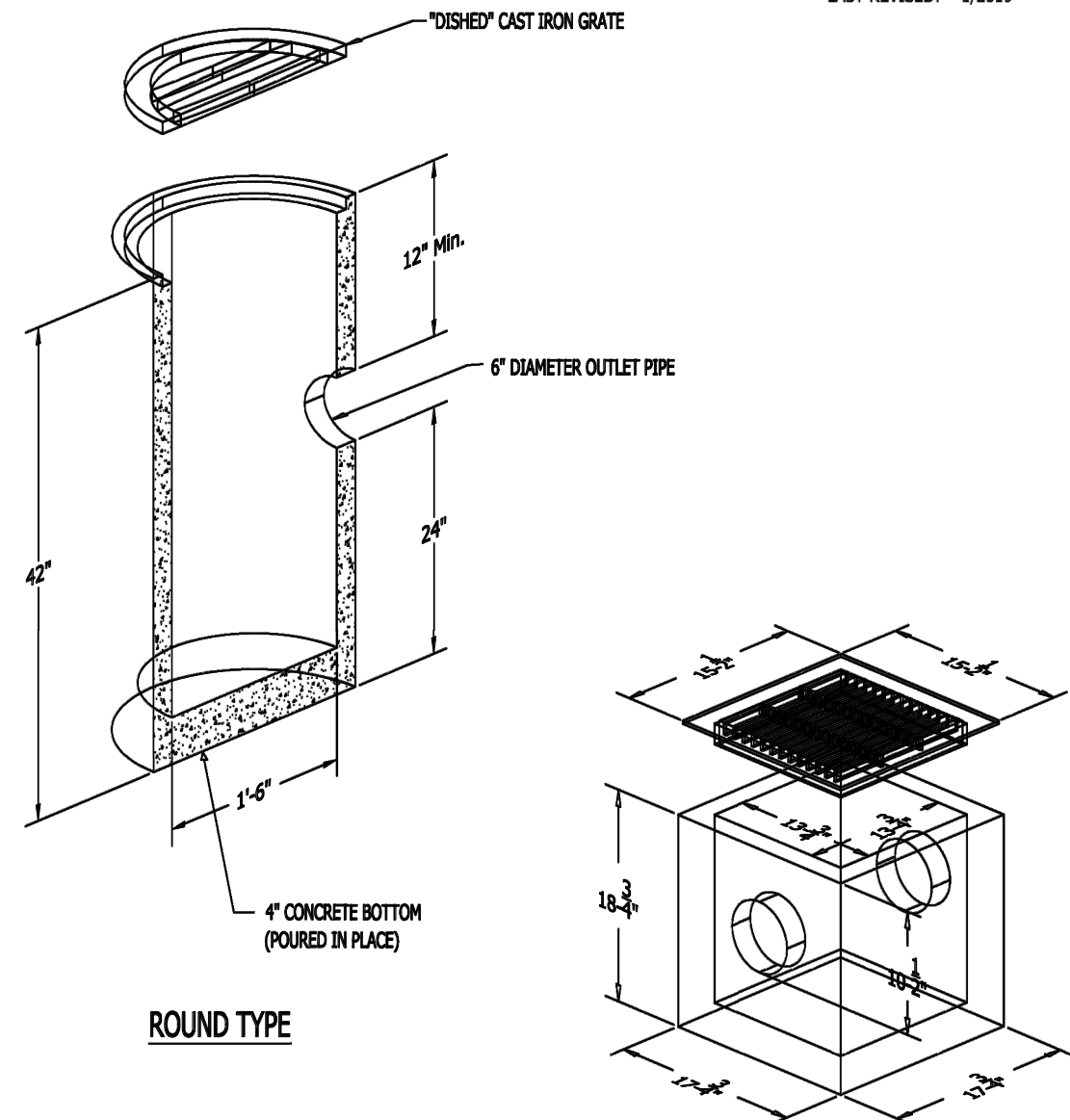


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GARAGE SLAB UNDERDRAIN SECTION A

NOT TO SCALE



LAST REVISED: 1/2019

ROUND TYPE

SQUARE TYPE

NOTES

1. FOR USE IN NON-TRAFFIC AREAS ONLY, SUCH AS ENCLOSED YARDS IN PRIVATE RESIDENCES AND ENCLOSED PLAY AREAS IN SCHOOL GROUNDS.
2. FOR USE WITH 6" PIPES AND SMALLER, AND DEPTH LESS THAN 18"
3. LAST STRUCTURE BEFORE ROW HAS 18" MINIMUM SUMP DEPTH

YARD DRAIN DETAIL


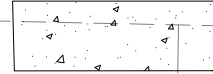
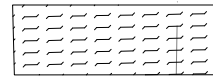
NOT TO SCALE

△	REVISIONS	DATE	DESIGNED	T. MURPHY	TMM ENGINEERING 381 NE O'HENRY CT POULSBORO, WA 98370 PH 360.979.6778	PROJECT NAME	SMITH + CUTRIGHT RESIDENCE 7655 SE 40TH STREET MERCER ISLAND, WA 98040	DRAWING NO.	4 OF 4	
			DRAWN	T. MURPHY					DRAINAGE DETAILS	C-04

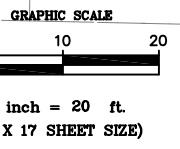
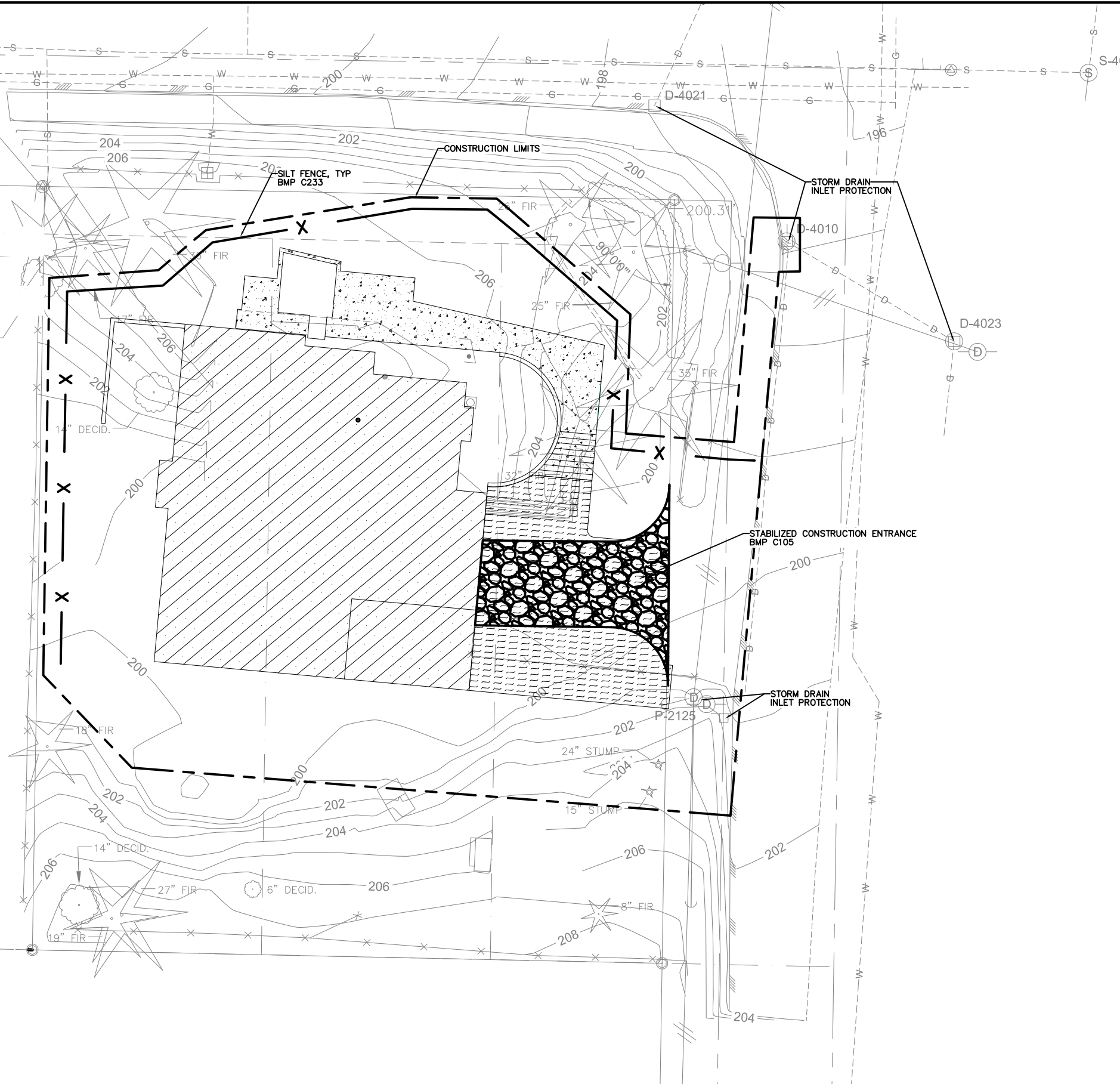
GENERAL NOTES

1. SEE SHEET TESC-02 FOR GENERAL NOTES
2. SLOPES AROUND PERIMETER OF STRUCTURE SHALL BE GRADED TO DRAIN AWAY.
3. ADJUST EROSION CONTROL BMPs AS NECESSARY TO PREVENT SEDIMENT TRANSPORT OFFSITE.
4. ALL MATERIALS AND WORK SHALL ADHERE TO DEPT OF ECOLOGY REQUIREMENTS, CITY OF MERCER ISLAND REQUIREMENTS, AND CURRENT WSDOT SPECIFICATIONS AND STANDARD DRAWINGS.

LEGEND

-  HOUSE FOOTPRINT
-  CONCRETE PAVEMENT PERMEABLE
-  ASPHALT PAVEMENT PERMEABLE

15" DECID.



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			DRAWN	T. MURPHY				TESC-01	

